

KILDARE COUNTY COUNCIL



PLANNING DEPARTMENT

Report prepared in accordance with Part XI of the Planning and Development Act 2000, as amended and Part 8 of the Planning and Development Regulations 2001 as amended

Development proposed by, on behalf of, or in partnership with Local Authority

Report for submission to the members, prepared in accordance with Part XI, Section 179, Sub-section (3)(a) and (3)(b) of the Planning and Development Act 2000 as amended.

Type of Development	Environmental Improvement Works
Site Location	Rathangan Town Centre, Rathangan, Co. Kildare
Development proposed by	Planning, Strategic Projects & Public Realm
Display period	26th January 2021- 13th April 2021
Submissions/observations	29 no. submissions received including 1 no. from a Prescribed Body and 5 no. from KCC Internal depts. A report on the submissions is included in Appendix B.
Part 8 Reference Number	P8 2021-01

1. Site Location & Context

The subject site is located in the town centre of Rathangan, Co. Kildare. The site extends southwards from Market Square along Bridge Street to the junction with Kildare Road. The Front Square of Rathangan is bounded by buildings to the north fronting Market Square to east and west along Chapel Street and Main Street. The

east and west boundaries of the site are bounded at the north by commercial and residential properties fronting Market Square and Bridge Street and to the south by Rathangan Bridge and existing trees. The south boundary of the subject site is where the road crosses the canal bridge (Grand Canal Athy branch) and meets the junction of the R414. The proposed Part 8 works are confined to the horizontal surfaces of the site with no works proposed to the buildings fronting onto Bridge Street and Market Square. The Part 8 site has a total area of 0.56Ha. The majority of the proposed development area falls within the Architectural Conservation Area for Rathangan, as defined in the Kildare County Development Plan 2017-2023.

Fig 1 Site Location and Context

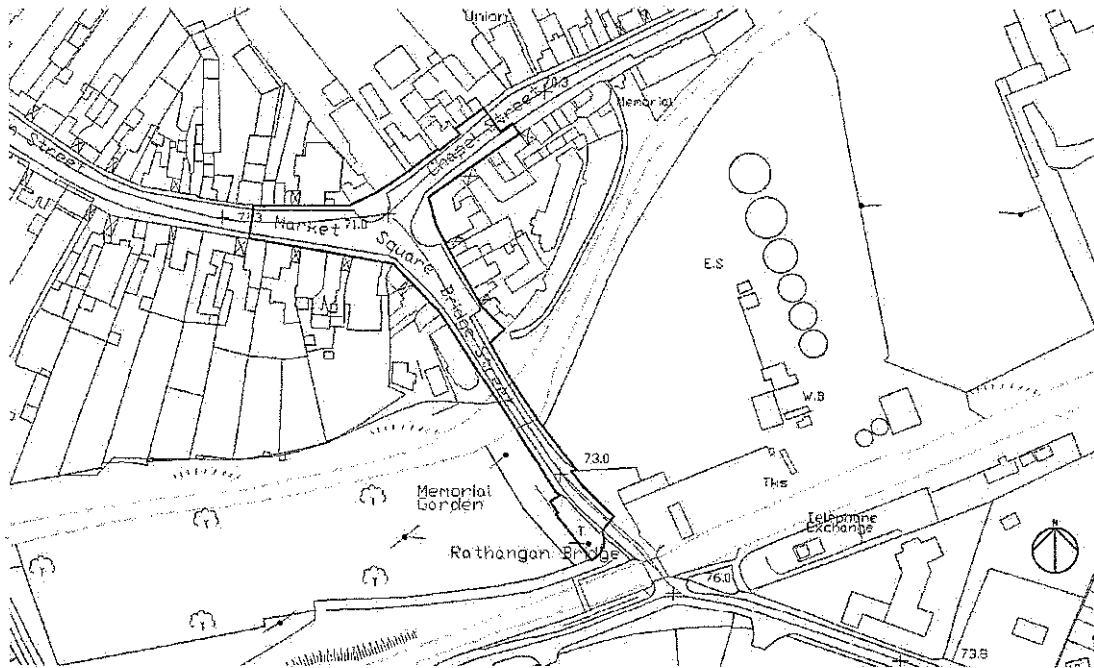


Fig 2 Existing Street Image



2. Description of Proposed Development

The proposed development consists of:

- a. Footpath widening and resurfacing
- b. Upgrade of street furniture and street lighting
- c. Replacement of existing trees with new trees and additional trees (5 existing trees to be removed, 14 trees proposed to replace)
- d. Formalisation of car parking spaces and resurfacing, including additional disabled parking bays
- e. Sensitive restoration of water pump NIAH No. 11810056
- f. Re-design of 'William A Byrne Memorial Garden
- g. Welcome signage at approach to town
- h. Gateway feature artworks on approach to town
- i. New street lighting columns and pedestrian feature lighting to replace existing.

3. Supporting Documents

The proposal is accompanied by the required plans and particulars, in addition a number of documents have been included, namely:

- *Kildare County Council Part 8 Application Form*
- *Planning Statement including a Report on the Submissions Received*
- *Architectural and Archaeological Heritage Assessments*
- *Traffic Impact Assessment*
- *Construction Management Plan*
- *Engineering Services Report*
- *Appropriate Assessment Screening*
- *Environmental Impact Assessment Screening*

4. Referrals and Consultations

The referrals and consultation process has been summarised by Consultants for Kildare County Council on behalf of Planning, Strategic Projects & Public Realm, and an appropriate response to submissions and issues raised is contained in Appendix B of this report.

Submissions

A total of twenty-nine submissions were received, one of which was from a Prescribed Body and another five were from Internal Departments within Kildare County Council. The issues raised in the submissions are outlined and a response to the issues made are contained within the report in Appendix B of this report. It is considered that the issues raised have been satisfactorily addressed.

Internal KCC Departments

Transportation:	No objection, subject to conditions
Water Services:	No objection, subject to conditions
Parks Department:	No objection, subject to conditions
Conservation Officer:	Conditions recommended

Prescribed Bodies

Department of Tourism, Culture, Arts, Gaeltacht, Sports & Media: No objection subject to recommendations.

5. Planning History

There is no relevant planning history traced to the subject site.

Built and Natural Heritage

Built Heritage	<p><i>The following protected structures are located within the vicinity of the subject site:</i></p> <table><thead><tr><th>RPS No.</th><th>NIAH No.</th></tr></thead><tbody><tr><td>B17-18 D&T Dillon</td><td>11810001</td></tr><tr><td>B17-19 D&T Dillon</td><td>11810002</td></tr><tr><td>B17-20 Rathangan Bridge</td><td>11810003</td></tr><tr><td>- House (NC & J O'B Photography)</td><td>11810013</td></tr><tr><td>- House (The Burrow)</td><td>11810009</td></tr><tr><td>- House (Formerly Roma)</td><td>11810008</td></tr><tr><td>- Water Pump</td><td>11810056</td></tr><tr><td>- Former Rathangan National School</td><td>11810005</td></tr><tr><td>- Former Rathangan National School</td><td>11810057</td></tr></tbody></table>	RPS No.	NIAH No.	B17-18 D&T Dillon	11810001	B17-19 D&T Dillon	11810002	B17-20 Rathangan Bridge	11810003	- House (NC & J O'B Photography)	11810013	- House (The Burrow)	11810009	- House (Formerly Roma)	11810008	- Water Pump	11810056	- Former Rathangan National School	11810005	- Former Rathangan National School	11810057
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Archaeological Heritage	<p><i>The following recorded monuments are located within the vicinity of the subject site:</i></p> <p>RMP KD017-011003</p> <p>RMP KD017-011007</p> <p>RMP KD017-011001</p> <p>RMP KD017-011004</p> <p>RMP KD017-011002</p>																				
Natural Heritage	<p>The closest European site (Natura 2000) is located 8.18km from the subject site (Pollardstown Fen SAC) Refer to Appendix A for Appropriate Assessment Screening.</p>																				

6. Policy Context

Kildare County Development Plan 2017-2023

The following policies and objectives are of relevance to the Part 8 proposal:

Chapter 5- Development, Enterprise & Tourism

ECD 38: Work with stakeholders including the OPW, the Heritage Council, the Arts Council, local communities and businesses to support the development of heritage and cultural tourism in County Kildare.

ECD 39: Support and promote existing festivals and sporting events to increase the cultural, heritage and lifestyle profile of the county, and where appropriate to promote and facilitate the development of new events and venues to host these events.

EO 40: Support the expansion and development of tourism in Kildare.

Chapter 6- Movement and Transport

RS 1: Ensure that streets and roads within the county are designed to balance the needs of place and movement, to provide a safe traffic calmed street environment in accordance with the principles set out in the Design Manual for Urban Roads and Streets (2013) while meeting the needs of all road users.

RS 2: Ensure that all streets and street networks are designed to passively calm traffic through the creation of a self-regulating street environment, through a multi-disciplinary team approach (e.g. engineers, planners, architects, landscape architects, urban designers).

TM 1: Manage traffic in urban areas and prioritise the movement of pedestrians, cyclists and public transport particularly at key junctions.

Chapter 9- Retail

R 40: Encourage and facilitate the enhancement and environmental improvement of the county's towns and villages and review the approaches of the exemplars in Ireland and overseas to inform how this can be achieved.

R 41: Pursue all avenues of funding, including State funding, to secure resources for the enhancement, renewal and regeneration of the public realm of the county's towns and villages.

Chapter 11- Social, Community and Cultural Development

SC 2 Ensure that all arts and cultural facilities in the ownership and management of the Council are accessible to the wider community and to promote the role of these facilities as focal points for the community.

ACO 8 Support and promote additional cultural and arts spaces throughout Kildare.

Chapter 12- Architectural and Archaeological Heritage

PS 11 Promote the maintenance and appropriate re-use of buildings of architectural, cultural, historic and aesthetic merit which make a positive contribution to the character, appearance and quality of the streetscape or landscape and the sustainable development of the county. Any necessary works should be carried out in accordance with best conservation practice.

PS 16 *Protect and retain important elements of the built heritage including historic gardens, stone walls, landscapes and demesnes, and curtilage features.*

VA 1 *Encourage the protection, retention, appreciation and appropriate revitalisation of the vernacular heritage of the county.*

VA 4 *Preserve the character and setting (e.g. gates, gate piers, courtyards etc.) of vernacular buildings where deemed appropriate by the planning authority.*

VA 5 *Protect (through the use of ACAs, the RPS and in the normal course of development management) vernacular buildings where they contribute to the character of areas and/or where they are rare examples of a structure type.*

VA 6 *Ensure that both new build, and extensions to vernacular buildings are of an appropriate design and do not detract from the buildings character.*

VA 8 *Have regard, where appropriate, to guidance in the DAHG Guidelines and conservation best practice in assessing proposed interventions and planning applications relating to vernacular structures, traditional farmhouses, their curtilage, out buildings and settings.*

VAO 1 *Identify and retain good examples of historic street furniture in situ e.g. cast-iron postboxes, water pumps, signage, street lighting, kerbing and traditional road and street surface coverings.*

ACO 2 *Co-operate with Waterways Ireland in the management, maintenance and enhancement of the Royal Canal and Grand Canal and associated structures/features.*

CH 6 *Designate Architectural Conservation Areas where considered appropriate, to preserve the character of a designed landscape.*

CH 9 *Require that planning applications take into consideration the impacts of the development on their landscapes and demonstrate that the development proposal has been designed to take account of the heritage resource of the landscape.*

ACA 2 *Ensure that any development, modifications, alterations, or extensions within an ACA are sited and designed appropriately, and are not detrimental to the character of the structure or to its setting or the general character of the ACA and are in keeping with any Architectural Conservation Area Statement of Character Guidance Documents prepared for the relevant ACA.*

ACA 3 *Have regard to DAHG Guidelines and conservation best practice in assessing the significance of a historic town or urban area and the formulation of an ACA or in assessing development proposals relating to an ACA.*

ACA 4 *Require where appropriate that a Conservation Plan is prepared in accordance with DAHG Guidelines and conservation best practice to inform proposed visual or physical impacts on an ACA.*

ACAO 2 Prepare a character statement appraisal and area specific policy for each ACA to include Athy, Ballitore, Kilcock, Leixlip, Maynooth, Monasterevin, Moone, Naas, Prosperous, Rathangan, Celbridge, Johnstown, Ballymore Eustace, Kilcullen, Brannockstown, Rathmore, Clane and Newbridge and to preserve, protect and enhance the character of these areas.

AH 1 Manage development in a manner that protects and conserves the archaeological heritage of the county, avoids adverse impacts on sites, monuments, feature or objects of significant historical or archaeological interest and secures the preservation in-situ or by record of all sites and features of historical and archaeological interest. The Council will favour preservation in – situ in accordance with the recommendation of the Framework and Principals for the Protection of Archaeological Heritage (1999) or any superseding national policy.

AH 2 Have regard to the Record of Monuments and Places (RMP), the Urban Archaeological Survey and archaeological sites identified subsequent to the publication of the RMP when assessing planning applications for development. No development shall be permitted in the vicinity of a recorded feature, where it detracts from the setting of the feature or which is injurious to its cultural or educational value.

AH 4 Ensure that development in the vicinity of a site of archaeological interest is not detrimental to the character of the archaeological site or its setting by reason of its location, scale, bulk or detailing and to ensure that such proposed developments are subject to an archaeological assessment. Such an assessment will seek to ensure that the development can be sited and designed in such a way as to avoid impacting on archaeological heritage that is of significant interest including previously unknown sites, features and objects.

Chapter 14- Landscape, Recreation and Amenity

WC 5 Promote the amenity, ecological and educational value of the canals and rivers within the county while at the same time ensuring the conservation of their fauna and flora, and protection of the quantity and quality of the water supply.

CR 3 Develop and implement a County Walking Strategy, within the lifetime of the Plan, in consultation with statutory bodies and landowners, and in accordance with the recommendations of the County Kildare Walking Routes Project, 2005. This strategy will seek to identify established walking routes in the county, evaluate these routes and make recommendations for their promotion.

RAO 1 Facilitate the provision of a variety of amenities within the county, including natural amenities, walking routes, cycling routes, and sports facilities.

Chapter 15 Urban Design

15.6 Best Practice

To guide sustainable urban growth and to create a distinctive, enduring environment, the following principles should inform development proposals:

Character: A development that creates an identity and character which reinforces locally distinctive patterns of development and landscape.

Continuity and Enclosure: Public and private spaces that are clearly distinguished, and continuity of street frontages and enclosure of space by the built form, is achieved.

Quality of the Public Realm: Public spaces and routes that are attractive, safe, uncluttered and work effectively for all in society, including older people and people with mobility impairments.

Ease of Movement: Creation of areas which are easy to get to and move through, by putting people before traffic.

Legibility: Legible places provided with recognisable routes, intersections and landmarks.

Adaptability: Places that can change easily and can respond to changing social, technological and economic conditions.

Diversity: The promotion of choice through a mix of compatible developments and uses that work together to ensure a place that responds to local needs, as well as providing for a diverse society of different incomes at different stages of their lives.

Environmental Sustainability: Enhancing local ecology by promoting biodiversity, by allowing new wildlife habitats to establish and protecting existing ones.

Liveable Environments: Encouraging walkable environments which facilitate access to public transport in order to reduce reliance on the private car, as well as the provision of a well connected open space network.

Volume 2, Kildare County Development Plan 2017-2023- Rathangan Small Town Plan-

The subject site is unzoned as it is located within/on public roads/footpaths, however the adjoining lands are zoned A- Town Centre, where it is an objective, "To provide for the development and improvement of appropriate town centre uses including residential, commercial, office and civic use."

The following policies/objectives of the Rathangan Small Town Plan 2017-2023 are of relevance to the proposed development:

1.7.7 Principles Governing Future Development of the Town

The focus of new development will be on:

- Consolidating development within the town centre, followed by the sequential development of land/sites in a logical progression from the centre to the edge of the development boundary.
- Preserving the architectural heritage quality of the town.
- Supporting employment opportunities while also supporting social inclusion and community development within the town.
- Facilitating the provision of adequate recreational and community facilities.
- Facilitating development in line with the ability of local services to cater for growth.
- Supporting development of renewable energy within and to serve the town.
- Supporting the development of the town's waterways as a means of transportation and tourism potential in the development of walking and cycling routes.

- *Protecting and preserving the quality of the landscape in Rathangan, including open space, natural, architectural, archaeological and cultural heritage.*

RN 2 *Facilitate the expansion of the Town Centre in a coordinated and comprehensive manner, providing greater connectivity between the town centre and the Town Centre zoned lands.*

RN 18: *Provide and upgrade public lighting throughout the town as the need arises.*

RN 19 *Provide a high-quality footpath network throughout the town by improving pedestrian facilities through the refurbishment of footpaths, construction of new footpaths and the provision of appropriate crossing facilities as necessary*

(i) Along the R401 Regional Road between the development boundaries of the town, including the town centre along Bridge Street, Market Square and Main Street.

(ii) Along the R414 Regional Road from Market Square to the development boundary.

(iii) Along the R419 Regional Road from Main Street to the development boundary.

(iv) Along the R414 Regional Road from Rathangan Bridge to the development boundary.

(v) Along the L7003 local road from its junction with the R414 Regional Road to its junction with the R401 regional road, including improved pedestrian facilities across Spencer Bridge, the crossing of the Slate River and the junction with the R419 Regional Road.

RN 20 *Provide amenity pedestrian and cycle infrastructure along both sides of the Slate River and the Grand Canal.*

RN 29: *Provide accessible car parking spaces at appropriate locations throughout the town.*

RN 35: *Ensure that development proposals for lands identified by the dashed Pink line on Map V2-1.7A shall be subject to site specific flood risk assessment appropriate to the type and scale of development being proposed.*

RN 45 *Preserve views and prospects to and from the River Slate and the Grand Canal and to ensure that further development along the water system does not affect the quality of either the scenic viewpoint or the amenity of the waterways. New development adjacent to the riverside and canal amenity area shall be restricted where such development could present a negative visual effect or disrupt the vistas available.*

RN 52 *Facilitate and promote the upgrading and enhancement of the community facilities in the town.*

RN 55 *Create a high quality design of built form and the public realm to include a hierarchy of streets with tree lined avenues, primary and secondary residential streets incorporating cycle lane, shared streets and homezones.*

7. Evaluation of Proposed Development

Proposed Development

The proposed Environmental Improvement Works consist of:

- a. Footpath widening and resurfacing
- b. Upgrade of street furniture and street lighting
- c. Replacement of existing trees with new trees and additional trees (5 existing trees to be removed, 14 trees proposed to replace)
- d. Formalisation of car parking spaces and resurfacing, including additional disabled parking bays
- e. Sensitive restoration of water pump NIAH No. 11810056
- f. Re-design of 'William A Byrne Memorial Garden
- g. Welcome signage at approach to town
- h. Gateway feature artworks on approach to town
- i. New street lighting columns and pedestrian feature lighting to replace existing.

Fig 4 Visualisation of Part of Proposed Scheme- Market Square



Principle of Development

Given the location of the site in Rathangan town centre and having regard to the environmental and public realm improvement works proposed, it is considered that the principle of the proposed development is acceptable. The proposal seeks to consolidate and enhance the historic character of Market Square and Market Street in Rathangan and is designed in accordance with policies and objectives contained in the Kildare County Development Plan 2017-2023.

Architectural & Archaeological Heritage

A Conservation Report was prepared by Alastair Coey Architects on behalf of KCC. The report outlines the national, regional and local statutory policy and guidance that informs the safeguarding of architectural and archaeological heritage in Rathangan. The report highlights that the proposed Part 8 site contains a number of traditional

buildings and features such as a water pump and wheel fender posts, which contribute to the distinctive character of the town. It notes that Rathangan was recorded as part of the Kildare survey of the National Inventory of Architectural Heritage in 2001 and that a number of the buildings and structures recorded in the inventory are affected by the proposed scheme. The report makes a number of recommendations for detailed design stage of the proposed development.

An Archaeological Heritage Assessment has been carried out and is included with the Part 8 documents. The report identifies that no structures or features of archaeological significance were identified as having the potential to be impacted, directly or indirectly, by the proposed development works. However, the development area lies within the Zone of Archaeological Protection for Rathangan deserted medieval settlement RMP KD017-011--- and engages with and is proximate to several areas of archaeological, architectural and industrial heritage significance. In this regard, it is noted that the Department of Tourism, Culture, Arts, Gaeltacht, Sport and Media have made a submission in relation to the proposed development and have no objections subject to an archaeological monitoring recommendation.

Transportation

A Traffic Impact Assessment (TIA) Report and Parking Report was prepared by O'Connor Sutton Cronin & Associates (OCSC) in support of this Part 8 application. It is noted that the KCC Transportation Department have reviewed the Part 8 proposal and have no objections to the proposed development, subject to conditions.

Water Services & Flood Risk

It is noted that the O'Connor Sutton Cronin & Associates (OCSC) have carried out a desk top flood assessment of the study area and consulted www.floodinfo.ie and the CFRAMS data for Rathangan and note that the River Slate was included in the South Eastern CFRAMS Study by the OPW. It is noted that the predicted flood levels for the 0.1% Annual Exceedance Percentage (AEP) event are below the levels within the existing public realm area and the proposed design. On this basis, there are no works relating to flooding to be incorporated within the proposed scheme. It is noted that the KCC Water Services Department have reviewed the Part 8 proposal and have no objections, subject to conditions.

Environmental Impact Assessment

An Environmental Impact Assessment Screening Report has been prepared for the proposed development by CAAS Ltd. The purpose of the Screening assessment was to form an opinion as to whether or not the proposed development should be subject to Environmental Impact Assessment and if so, whether an Environmental Impact Assessment Report should be prepared in respect of it. The Screening Document concludes that the proposal is sub-threshold and does not fall within the scope of any class of project prescribed in the Directive or Regulations. Having considered the nature, scale and location of the proposal; having regard to the characteristics and location of the proposed development; and having regard to the characteristics of potential impacts, the report concludes that the project is unlikely to give rise to significant environmental impacts. As there is no requirement for an Environmental Impact Assessment Report to be carried out for the Part 8 proposal, there is no

requirement for an Environmental Impact Assessment to be prepared by the Planning Authority.

Appropriate Assessment

An Appropriate Assessment Screening Report has been prepared for the proposed development by CAAS Ltd. The AA Screening Report is included with the plans and particulars accompanying this Part 8 proposal. There are no European sites present within the site boundary and the closest designated site is 8.18km away. The AA Screening concludes that the proposed development does not include any element that has the potential to significantly alter the favourable conservation objectives associated with the species and habitats, or, interfere with the key relationships that define the structure or function, either alone or in combination with other impacts, of the Natura 2000 sites. The Appropriate Assessment Screening of the Planning Authority is attached in Appendix A of this report.

Public Submissions

It is considered that the responses to the main issues raised in the public submission have been adequately addressed in Appendix B of this report. It is accepted that some details will need to be agreed at the detailed design stage of the project.

8. Conclusions

Having regard to:

- The provisions of the Kildare County Development Plan 2017 – 2023,
- The Rathangan Small Town Plan (Volume 2- Kildare County Development Plan 2017-2023),
- Kildare County Council's internal departmental reports and Prescribed Bodies reports,
- Appendix B, Report and the responses to the items/issues raised,
- The EIAR Screening Report,
- The AA Screening Report,
- The location of the proposed development,
- The nature and extent of the proposed development,
- The recommendations set out below.

It is considered that the proposed development:

- Would be in accordance with the provisions of the Kildare County Development Plan 2017–2023 and the Rathangan Small Town Plan 2017-2023 would therefore be in accordance with the proper planning and sustainable development of the area.

9. Recommendation

It is recommended to the Mayor and Members of the Kildare-Newbridge Municipal District that the proposed development be proceeded with, subject to the modifications set out below.

Modifications

1. The proposed development shall be carried out in accordance with the plans and particulars placed on public display on 26th January 2021- 13th April 2021, except where amended by the following modifications.
2. Prior to the commencement of development, the following shall be submitted for the written agreement of the Planning Authority:
 - a) Details of the location and design of Heritage Signage associated with the proposed development.
 - b) Detailed design of interpretative lighting features on Bridge Street.
3. Prior to the commencement of development, details of all proposed finishes of materials, including a slip resistance rating 'r-rating' for proposed natural stone shall be submitted for the written agreement of the Planning Authority.
4. Details of the constructed tree pits shall be submitted and shall include written specifications, plan, and section drawings.
5. The possibility of lowering the section of existing stone wall leading to the playground adjacent the canal bridge and/or providing an alternative boundary type shall be explored. Details of an alternative boundary type shall be submitted for the written agreement of the Planning Authority including written specifications, plan, and section drawings.
6. Prior to construction of development, if removal of any existing ivy is required, a bat survey and assessment of flora on the bridge shall be conducted. The timing of any removal of ivy shall also be taken into consideration.
7. Any tree removal shall take place outside of the bird nesting season.
8. A Consulting Engineer shall be employed to carry out the final detailed design of the works, to prepare tender documents and drawings, to assist in the procurement of a Contractor and to assist in the supervision of the works on site.
9. Details of traffic management, implementation, costing and phasing of the proposed works shall be agreed in writing with the Planning Authority prior to the commencement of the development.
10. The finish surface of the new road pavement shall be Stone Mastic Asphalt SMA 14 surf PMB 65/105-60 des 45mm thick, in compliance with clause 942 of NRA/TII specification or similar approved, details to be agreed in writing with the Planning Authority.

11. Turning areas shall be capable of accommodating HGVs and Emergency Vehicles and we recommend that a swept path "Autotrack" analysis should be carried out to check the turning movements of HGVs within the proposed development.
12. Public lighting shall be in accordance with the KCC Public Lighting Policy document. Public lighting columns should not be impeded by landscaping. LED luminaires with warmer colours (i.e., CCT values at or below 2700K) shall be specified for light installations to avoid environmental impacts associated with blue-rich LED light. Regard should also be had to the IPL publication 'Guidance Note 1 for the reduction of obtrusive light 2020'.
13. A Stage 2 Road Safety Audit shall be carried out by an independent approved and certified Auditor for the proposed development and the infrastructure works. The RSA recommendations should be incorporated into the detailed design.
14. A Stage 3 Road Safety Audit shall be carried out by an independent approved and certified Auditor on the completed works including the public lighting being fully operational for the proposed development and the infrastructure works. The implementation of the RSA recommendations should be incorporated into the detailed design.
15. Prior to the commencement of development, a Construction Management Plan shall be submitted for the written agreement of the Planning Authority, including any temporary access to the construction site and proposed haul routes to the site.
16. Best Practicable Means shall be used to prevent/minimise noise and dust emissions during the construction and operational phases of the development, through the provision and proper maintenance, use and operation of all machinery all to the satisfaction of the Planning Authority.
17. Prior to the commencement of development, all surface water drainage details shall be agreed with the Planning Authority. Final details regarding the requirements of the Council's Water Services Department shall be agreed with the Planning Authority prior to commencement of the development.
18. The applicant shall employ a qualified archaeologist to monitor all groundworks associated with this development.
 - a) The archaeologist shall notify the Department of Tourism, Culture, Arts, Gaeltacht, Sport and Media in writing at least four weeks prior to the commencement of site preparations. This will allow the archaeologist sufficient time to obtain a licence to carry out the work.

- b) The report of the archaeological monitoring should include photographs of the area before, during and after monitoring has taken place, as well as detailed photographs of specific areas, as required.
- c) A key plan, clearly showing the location and direction from which photographs were taken should be included in the report. (An annotated site location map will suffice for this purpose).
- d) Should archaeological material be found during the course of monitoring, the archaeologist may have work on the site stopped, pending a decision as to how best to deal with the archaeology. The developer shall be prepared to be advised by the Department of Tourism, Culture, Arts, Gaeltacht, Sport and Media with regard to any necessary mitigating action (e.g. preservation in situ, or excavation) and should facilitate the archaeologist in recording any material found.
- e) The Planning Authority and the Department of Tourism, Culture, Arts, Gaeltacht, Sport and Media shall be furnished with a report describing the results of the monitoring.

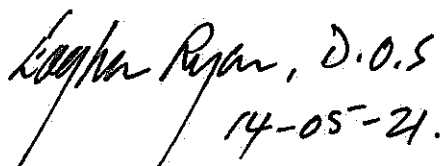
19. The hours of construction activities on the site shall be restricted from Monday to Friday 07.00 - 18.00, Saturday 08.00 - 14.00 or as agreed with the Planning Department. No building activity shall be undertaken on Sundays and Bank Holidays under any circumstances.

Signed:



A/Senior Executive Planner

Dated: 12/05/2021



APPENDIX A

APPROPRIATE ASSESSMENT SCREENING REPORT



**APPROPRIATE ASSESSMENT SCREENING REPORT
AND
CONCLUSION STATEMENT**

(A) Project Details			
Planning File Ref	P82021.01		
Applicant	KCC, Planning, Strategic Projects & Public Realm		
Development Location	Rathangan town centre, Rathangan, Co. Kildare		
Site size	0.56Ha		
Application accompanied by an EIS (Yes/NO)	No		
Distance from Natura 2000 site in km	The site is located approximately 8km from the nearest SAC-Pollardstown Fen SAC		
Description of the project/proposed development			
Environmental Improvement Works			
(B) Identification of Natura 2000 sites which may be impacted by the proposed development			
		Yes/No	
		If answer is yes, identify list name of Natura 2000 site likely to be impacted.	
1	<p>Impacts on sites designated for freshwater habitats or species.</p> <p>Sites to consider: River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh lake.</p>	<p><i>Is the development within a Special Area of Conservation whose qualifying interests include freshwater habitats and/or species, or in the catchment (upstream or downstream) of same?</i></p>	No

2	Impacts on sites designated for wetland habitats - bogs, fens, marshes and heath. <u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Mouds Bog, Ballynafagh Bog, Red Bog, Ballynafagh Lake	<i>Is the development within a Special Area of Conservation whose qualifying interests include wetland habitats (bog, marsh, fen or heath), or within 1 km of same?</i>	No
3	Impacts on designated terrestrial habitats. <u>Sites to consider:</u> River Barrow and Nore, Rye Water/Carton Valley, Pollardstown Fen, Ballynafagh Lake	<i>Is the development within a Special Area of Conservation whose qualifying interests include woodlands, dunes or grasslands, or within 100m of same?</i>	No
4	Impacts on birds in SPAs <u>Sites to consider:</u> Poulaphouca Reservoir	<i>Is the development within a Special Protection Area, or within 5 km of same?</i>	No

Conclusion:

If the answer to all of the above is **No**, significant impacts can be ruled out for habitats and bird species.

No further assessment in relation to habitats or birds is required.

If the answer is **Yes** refer to the relevant sections of **C**.

(G) SCREENING CONCLUSION STATEMENT		
<i>Selected relevant category for project assessed by ticking box.</i>		
1	AA is not required because the project is directly connected with/necessary to the conservation management of the site	
2	No potential significant affects/AA is not required	X
3	Significant effects are certain, likely or uncertain. Seek a Natura Impact Statement Reject proposal. (Reject if potentially damaging/inappropriate)	
Justify why it falls into relevant category above (based on information in above tables)		
Having regard to the proximity of the nearest SAC and given the nature and extent of the proposed development it is not considered there would be potential for significant effects on the Natura 2000 network.		
Name:	Elaine Donohoe	
Position:	A/Senior Executive Planner	
Date:	12/05/2021	

APPENDIX B- SUBMISSIONS REPORT