



Proposed Part 8 Residential Development
Oldtown Mill, Celbridge

Architects Design Report

Kildare County Council
March 2024

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1.0 Introduction

This design report was prepared on behalf of the National Development Finance Agency (NDFA) and Kildare County Council, to accompany a Part 8 proposal for the development of 60 no. residential units on a site of circa 1.7 hectares in area, located at Oldtown Mill, Celbridge.

The proposed development includes:

- i. 60 no. residential units including 40 no. houses and 20 no. apartments comprising 20 no. one bed units; 15 no. two bed units; 21 no. three bed units; and 4 no. four bed units; with renewable energy design measures (which may be provided externally) for each housing unit.
- ii. Rear garden sheds serving the residential units;
- iii. Landscaping works including provision of (a) open space and kick about areas; (b) natural play features; and (c) new pedestrian and cycle connections;
- iv. Associated site and infrastructural works including provision for (a) 2 no. ESB substations; (b) car and bicycle parking; (d) public lighting; (e) temporary construction signage; (f) estate signage; and (g) varied site boundary treatment comprising walls and fencing; and
- v. all associated site development works, including removal of existing spoil from the site in advance of construction works.

This report has been prepared by MCORM Architecture and Urban Design to describe the architectural design of the proposed development, which has been developed in collaboration with the multi-disciplinary project team. The report is part of an application for planning permission by Kildare County Council, for a residential development of 60 social housing units at Oldtown Mill, Celbridge to Kildare County Council Planning Authority, under Part 8 of the Planning and Development Regulations 2001 (as amended).

1.1 Project Team

Development Agency	- N.D.F.A
Project Manager	- Turner Townsend
Planning Consultants	- HRA
Architects	- MCORM Architecture and Urban Design
Civil Engineers	- Malone O'Regan
M&E	- Semple McKillop
Landscape	- Mitchell Associates
Ecology	- NM Ecology
Arborist	- CMK Horticulture



Image 1: Site Location identified within a wider context

2.0 Site Context

2.1 Site Description

The subject site (1.7 Ha) is located at Oldtown in the north west of Celbridge Town Co. Kildare.

The site originally formed part of the overall lands associated with development of the surrounding residential neighbourhood now known as Oldtown Mill.

It is a green / brownfield site containing a large mound of spoil and rubble associated with the construction phases of the adjoining houses. The site is currently idle and has been hoarded off to the public for a number of years.

Access and utilities are provided via Oldtown Mill Road and through the existing residential estate. The lands to the immediate east and south of the site (The Paddock, The Orchard, The Meadows) were developed under Phase 2 of Oldtown Mill (Reg Ref 00/2079). Planning permission was granted for 75 units on the lands to the immediate north of the site (Reg Ref 19/1282). This development is currently under construction. The lands to the south west are in agricultural use.

2.2 Brief

The brief for this site, as advised by Kildare County Council (KCC), is a development of 60 No. social housing units as follows:

- 20no. 1 bed units
- 15no. 2 bed units
- 21no. 3 bed units
- 4no. 4 bed units



Image 2: Existing site layout with site outlined in red and overlay of adjacent site plan to the north



Image 3: Proposed site strategy

2.3 Site Constraints

The site is bounded to the North-East by Oldtown Mill Road (a public road), to the South-East by an existing housing development (The Orchard), to the Northwest by a new housing development that is under construction, and to the South-West by agricultural lands.

The large mound of spoil on site is approx. 3-3.5m tall and is located in the Southwest portion of the site. The boundary along the Southeast is a 1.8m high rear garden exposed blockwork wall. There are mature trees and an existing hedgerow along the Southwest boundary and the boundary to the North is to be constructed in accordance with Reg Ref 19/1282 and will consist of a blockwork wall to the rear gardens of the houses with provisions for future connections in 2 no. locations. The natural topography slopes from Northeast to Southwest (approx. 2m) and from Northwest to Southeast (approx. 1m). There are fixed boundaries to the southeast and southwest with potential for permeability to the northeast and northwest.

2.4 Site Design Approach

The site layout proposed responds to the immediate context and setting. A new central 'spine' avenue is provided with terraces of housing to both sides. Primary access is from Oldtown Mill Road with the connections to the new development to the north maintained (one vehicular/pedestrian and one pedestrian only). Future connection to the lands to the southwest is also facilitated.

The housing terraces back onto the rear garden conditions along the northwest and southeast boundaries. The terrace to the north completes the 'second half' of the housing cell in that location while the terrace to the south steps in and out to enclose pockets of public open space along the central street and to maximise the width of the site.

Three public open spaces are created:

- (i) A small landscaped area at the front of the site creating a natural set back/buffer to the public road,
- (ii) A new 'community courtyard' in the centre of the site surrounded on all sides by new dwellings and
- (iii) A nature based parkland to the southwest of the site incorporating the existing and mature trees, hedgerow and SUDS pond.

The scheme consists of 40 houses and 20 own-door apartments. The own-door apartments (one bed over one bed) are primarily located at the corners of the cells to create focal points and to complete strong building lines. A block of eight apartments is also located close to the entrance, extending as an arm to frame the open space in that location and the entrance to the site.

3.0 Urban Design Rationale/ Design Criteria

The design rationale outlined below identifies the key issues considered in the design process for the proposed residential scheme on the site under the 12 criteria set out in the Urban Design Manual – A Best Practice Guide 2009.

“At the scale of the neighbourhood”

3.1 Context: How does the development respond to its surroundings?

A two-storey development is proposed that is sympathetic in scale to the surrounding developments. The units are located to secure the existing exposed rear garden conditions presented along the northwest and southeast boundaries and to complete the housing cells and the streetscapes in those areas. Pedestrian connections are created to connect the scheme to the northeast and northwest. The mature trees and hedgerows along the south-west boundary are also retained.

The site has been left idle following the construction of previous phases. The existing spoil heap and security hoarding are visually intrusive. The proposed development gives the opportunity to unlock the potential of these valuable lands, providing much needed housing and creating improved visual amenity for adjoining residents.

3.2 Connections: How well connected is the new neighbourhood

The site is accessed from the north-east via Oldtown Mill Road, and the scheme will tie into the existing road and footpath network in the area which generally leads towards Shackleton Road (approx. 750m from the site entrance) which has bus services and is one of the main Celbridge distributor roads. The south-east and west boundaries provide hard edges to the site with no potential permeable links. Permeable connections are proposed to the two other boundaries to the west including future connections for pedestrian and cycle links to the development to the northwest.

3.3 Inclusivity: How easily can people use and access the development

A variety of unit types are proposed including one, two, three and four bed homes. The urban design strategy adopts a simple layout consisting of a central avenue with units accessed from either side. The apartment units provide activation on the corners, improving wayfinding and legibility. Footpaths are provided to all units, and Part M accessible parking spaces are evenly distributed across the site. The site is gently sloping, and all pedestrian routes have been designed for ease of access for all. 10 no. apartments and 9 no. houses are designed as UD units suitable for older person or persons with a disability.

3.4 Variety: How does the development promote a good mix of activities?

A fully residential scheme is proposed in line with the KCC housing needs requirement. A mix of unit types is proposed, including one, two, three, and four-bedroom homes. The landscaping plan has developed to provide three distinct public open spaces within the site with a variety of amenity values for both future and existing residents of the surrounding area.



Image 4: Proposed site layout



Image 5: View of Corner Duplex



Image 6: View of two-bed terrace along central street

"At the scale of the site"

3.5 Efficiency: How does the development make appropriate use of resources , including land?

At 35 units per hectare the development represents an efficient use of lands in accordance with development plan density requirements, and when considered in relation to the site context and surrounding neighbourhood. All homes are dual aspect with either south, east, or west aspect. The buildings have compact forms resulting in efficient thermal envelopes. A high provision of amenity space is provided within the site (>15% of site area) plus additional SUDS amenity spaces.

3.6 Distinctiveness: How do the proposals create a sense of place?

The scheme consists of 40 houses and 20 own-door apartments. The layouts of the houses are generally in accordance with the department of housing typologies. The apartments units are used to activate corners, to create a visual interest. A consistent palette of materials is used throughout that creates a distinct architectural language. The public open spaces create distinct natural backdrops within the scheme, points of reference, sense of enclosure and sense of space. The community garden at the center of the scheme creates a focal point encouraging a sense of community ownership for the scheme.

3.7 Layout: how does the proposals create people friendly streets and spaces?

Continuous active building lines are provided to the public realm. The compact urban forms are proposed that minimise gaps and breaks in the streetscape. This results in public spaces that has strong passive surveillance in all areas. First floor balconies overlooking public spaces further enhance that sense of security. Footpaths are located to the rear of the parking spaces creating a buffer to the roadway. Parking is reduced and pedestrian routes are provided off the central avenue creating a more pedestrian friendly public realm. Horizontal deflection and raised tables crossing points are provided along the central street providing traffic calming and to prioritise the pedestrian.

3.8 Public Realm: how safe, secure and enjoyable are the public areas?

The site layout affords high levels of passive surveillance and overlooking. All units have own door access with defensible zones provided to the front of all units. Bicycle and bin storage is provided privately on curtilage. A clear street layout is proposed with a central spine route. Through traffic is limited and vehicular access generally limited to residents or visitors. The public open space areas are spread evenly across the site providing residents with a variety of outdoor amenity space. The location of the apartment units on corners with first floor balconies overlooking the public areas provide increased surveillance of the public realm. Parking is provided on street in accordance with DMURs with parallel parking on one side of the street and perpendicular parking opposite. Parking bays are well punctuated with street trees and planting.



Image 7: View of wide front 3 bed houses along central street



Image 8: View of 3 bed houses along central open space

“At the scale of the home”

3.9 Adaptability: How will the buildings cope with change?

In accordance with the KCC development plan 20% of the unit layouts have been designed in accordance with universal design guidelines. These consist of the ground floor apartment units and the Type C 3 bed house.

All units have generous floor areas in line with department standards and requirements. The houses are suitable for future adaption via extensions to the rear in accordance with the requirements for standard domestic extensions.

All units shall be A-rated which provide energy robustness and efficiency for future residents. The development is also designed in accordance with best practice sustainable drainage measures including suitable provision for future climate change.

3.10 Privacy and Amenity: How does the scheme provide a decent standard of amenity?

All units are designed to meet the minimum internal and external space requirements as detailed in Section 5.0 of this report. All units are own door access and have their own dedicated private amenity spaces. A daylight and sunlight assessment has been carried out on the units which found that all units exceed the minimum requirements for daylight and sunlight. A high percentage of public open space has also been provided within the site in excess of minimum requirements.

3.11 Parking: How will the parking be secure and attractive?

Parking is provided on street at a rate of one space per dwelling plus one visitor space every 4 units. This results in a total of 75 spaces. All spaces are located in areas that are well overlooked and proximate to the front doors of the units. Street trees and planting are arranged to create soft buffers between parking bays and to animate the street.

3.12 Detailed Design: How well thought through is the building and landscape design

A consistent materiality is created across the building. Brick is used to form a plinth material for the houses and a ground floor datum that runs through the site. Front curtilage walls and binstore enclosures seamlessly blend into this brick backdrop. At the corners, facades become full brick lifting the scale and creating visual importance at key locations. Front doors provide animation, with different colours provided for each unit type. The landscape design is full integrated with the urban design layout. Three distinct zones are created providing a variety of amenity within the scheme and incorporating SUDS features.

Note: Appendix B of this report also contains a tabulated response to the items listed in Appendix D - Design Checklist (Key Indicators of Quality Urban Design and Placemaking) of the Sustainable Residential Development and Compact Settlements Guidelines for Planning Applications.



Image 9: View looking North from public open space

4.0 Landscape Design Strategy

Public open spaces are created in three locations

- (i) A small landscaped area is provided at the front of the site creating a natural set back/buffer to the public road, containing mounding and informal play areas.
- (ii) A new 'community courtyard' is provided in the centre of the site surrounded on all sides by new dwellings and
- (iii) To the southwest of the site the existing and mature trees and hedgerow are retained creating a more nature based parkland incorporating a SUDS pond.

In accordance with the KCC development plan a total of 15% of site area is required for public open space i.e 2,550 sq.m

We have provided amenity spaces that total 3520 sq.m (areas outlined in orange below). This consists of 2625 sq.m to satisfy the open space area requirement and 895 sq.m of additional amenity space / SUDs features (areas outlined in blue below). See diagrams below.

A full landscape plan and report has been prepared by Mitchell and Associates and is included with the application.

Planting includes street trees, wildflower meadows, lawn areas, shrubs and hedges. Play areas are provided in the 'community' garden at the centre of the site and the natural park in the south west of the site. Seating areas and natural play features are also provided throughout.

The boundaries to the southeast and northwest will be maintained in situ / as permitted. Brick faced boundary walls and or railings are proposed to the curtilage of the new units and a weldmesh fence will be provided to the public open space along the south west boundary.



Image 10: Public Open Spaces

Site Statistics	
Site Area	= 1.7 Ha
Open Space Requirement	= 2550 sq.m
Open Space Areas	= 3520 sq.m
Less SUDs	= 895 sq.m
Open Space Provision	= 2625 sq.m (102.9%)



Image 11: Public Open Space (iii)



Image 12: Public Open Space (ii)



Image 13: Public Open Space (i)

5.0 Materials and Finishes

A coherent palette of materials is proposed to create a simple and modern aesthetic for the new development

A light buff clay brick with white mortar is proposed as the field colour for the scheme. The brick acts as a plinth to the houses picking up the boundary walls and bin store enclosures to the front curtilage. At the corners the apartment units have full brick facades to create prominence at the key locations as you progress through the site.

A light coloured render band to the upper floor of the houses provides contrast and variety within the scheme.

The roofs of the house are to have clipped verges and eaves adding to the modern aesthetic proposed. Slate roof tiles are proposed to the houses with warm deck standing seam roofs to the apartment units.

Dark grey window frames, fascia, soffit, verges, rainwater goods and flat free draining metal clad entrance canopies are proposed maintaining a consistent simple colour palette across the scheme of buff brick, light render and dark grey roof and ancillary items.

Different colour front doors are proposed for each unit type to create variety and a sense of individuality within the scheme.

On street parking and off-curtilage paved areas are to be finished in permeable paving to provide increased natural SUDs features within the site.



Image 14: Proposed primary materials of light coloured render (left), light coloured clay brick with off-white mortar (middle), and artificial roof slate/ roof tile (right). Refer to elevation drawings for details of other materials.

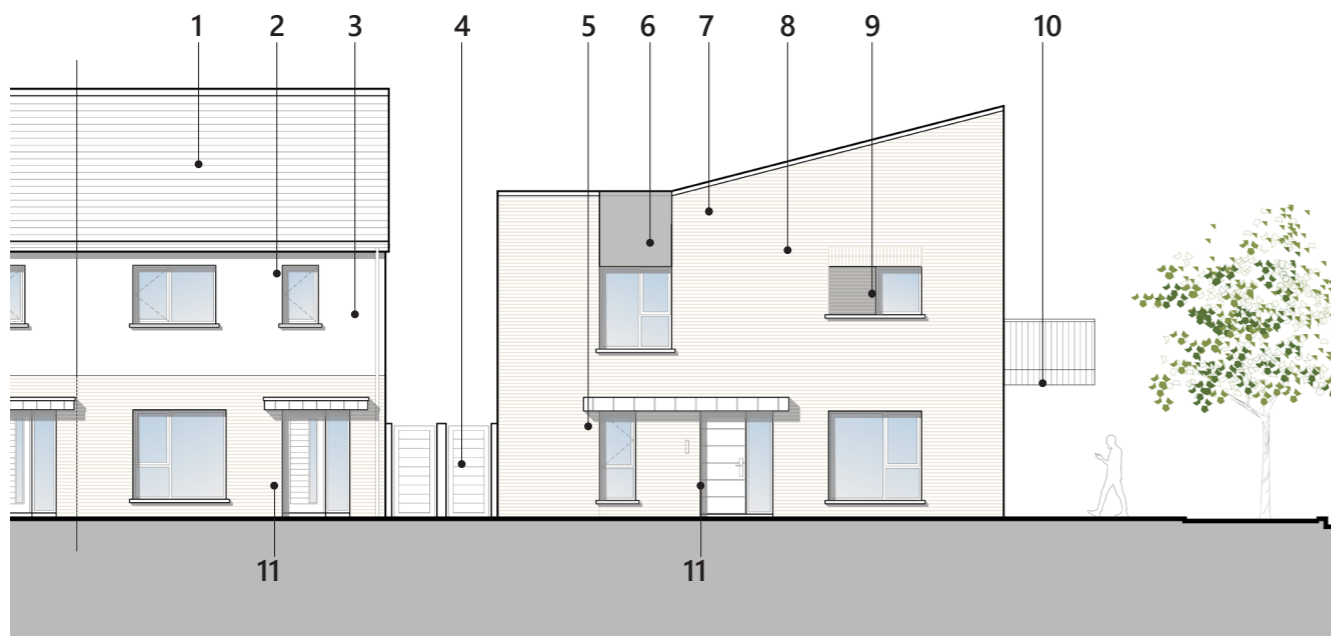


Image 15: Elevation of Duplex Type A and House Type B

1. Dark grey slate/ flat roof tile
2. Dark grey fascias, soffits, verges and rainwater goods
3. Light coloured render
4. Side gates - Steel framed timber
5. Pressed metal standing seam canopy - dark grey
6. Metal cladding to match canopy
7. Recon stone capping and cills
8. Light coloured clay brick with off white mortar
9. Splayed reveal detail to duplex elevations
10. Galvanized and painted metal railings to front gardens and balconies
11. Alternate Door Colours (according to house type)

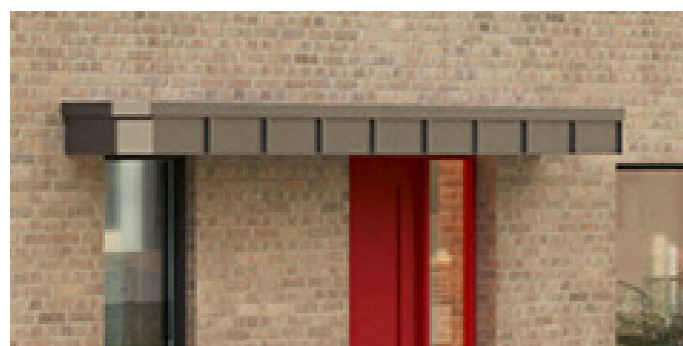


Image 16: No.5 Pressed metal canopy - dark grey

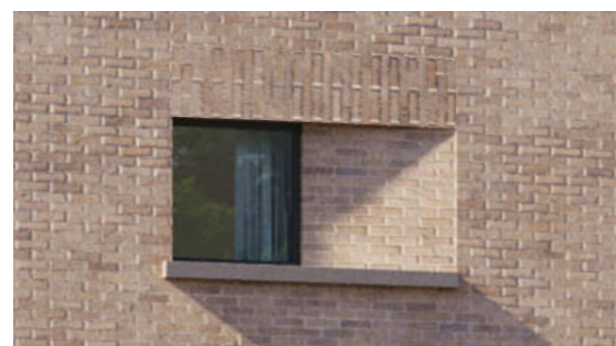


Image 17: No.9 Splayed reveal detail to duplex elevations



Image 18: View looking North along central street

6.0 Schedule of Accommodation

The proposed brief has been developed by Kildare County Council, based on their records of housing needs within the locality. The proposed brief includes a broad mix of typologies, and this variety should assist in forming a balanced, sustainable community. A summary breakdown of the site statistics is included below:



Image 19: Birds-eye view of the proposed development from the East

SITE STATISTICS		
Gross Site Area		1.7 Ha
Net Site Area		1.7 Ha
Housing Totals		
One Bed	20 No.	
Two Bed	15 No.	
Three Bed	21 No.	
Four Bed	4 No.	
Total		60 No.
Open Space		
Public Open Space Contribution	2625 sq.m (15.5% site area)	
SUDs Amenity Spaces	895 sq.m	
Total		3520 sq.m (20.7% site area)
Carparking		
1 space per unit plus 1 visitor per 4 units		75 No.
Bicycle spaces		
1 space per unit (on curtilage)		60 No.
visitor spaces (on street)		10 No.

7.0 Housing Quality Assessment



Image 20: Axonometric of type A ground floor plan

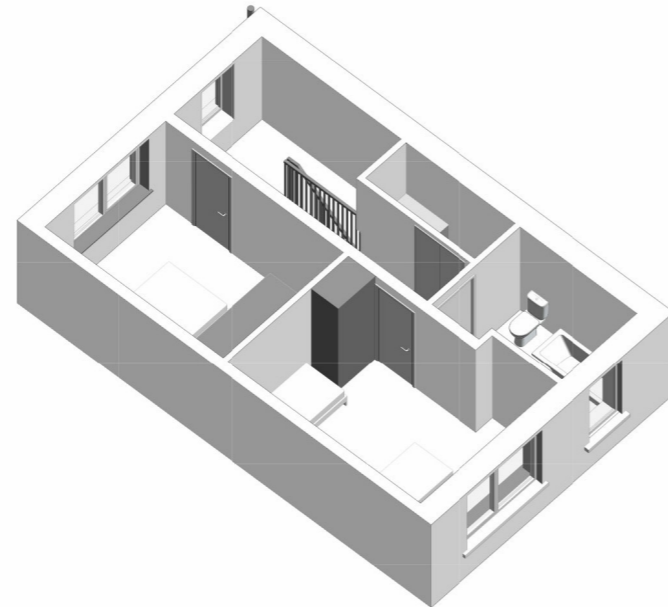


Image 21: Axonometric of type A first floor plan

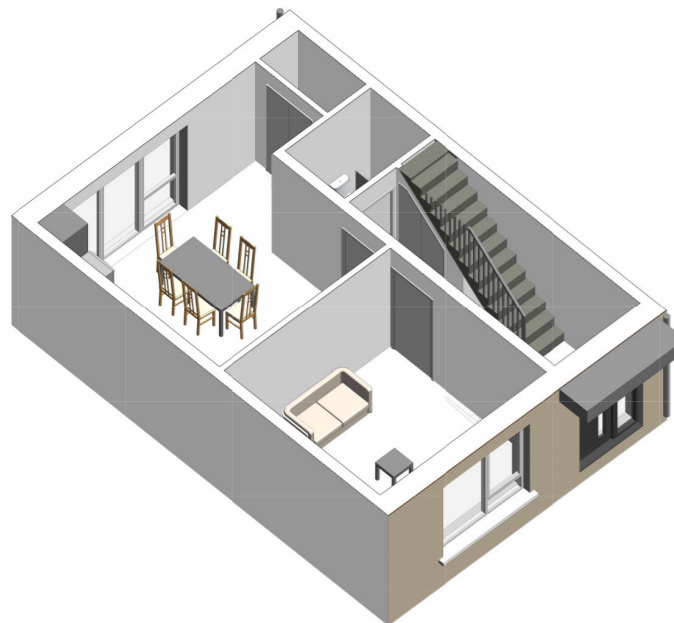


Image 22: Axonometric of type B ground floor plan

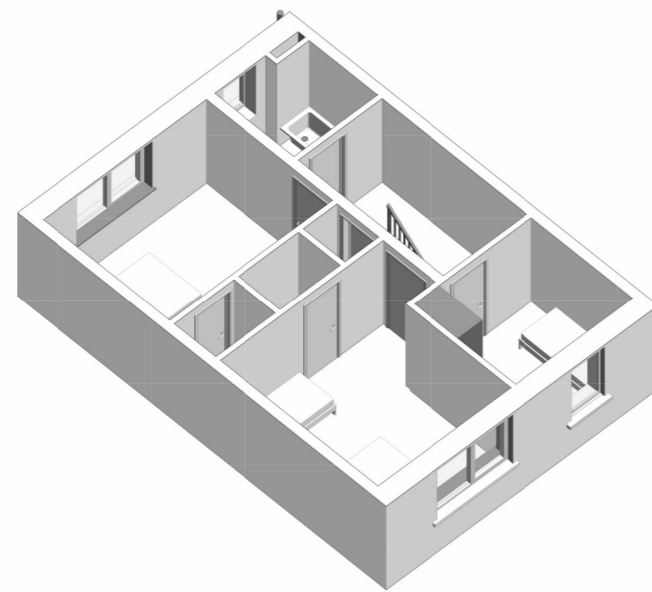


Image 23: Axonometric of type B first floor plan

The scheme has been designed with due regard to the Sustainable Residential Development and Compact Settlements Guidelines for Planning Applications, the Urban Design Manual Best Practice Guidelines, the Quality Housing for Sustainable Communities 2007, The K.C.C Development Plan and the Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities 2022.

Space standards for houses are to be in accordance with Quality Housing for Sustainable Communities 2007, except where the KCC County Development Plan (CDP) dictates higher standards. For apartments, space standards are to be as set out on the Sustainable Urban Housing - Design Standards for New Apartments 2018, Guidelines for Planning Authorities. A minimum of 20% of units are to be designed to UD standards in accordance with the KCC CDP.

The buildings have also been designed with due regard to the principles of universal design, including the 'Building for Everyone' publications. All units are Part M accessible, and 20% have been designed to be UD compliant.

A mix of unit types is proposed to cater for differing occupancy requirements. One, Two, Three bed, and Four bed units are proposed as follows:

1 Bed x 20 no.	(33%)
2 Bed x 15 no.	(25%)
3 Bed x 21 no.	(35%)
4 Bed x 4 no.	(7%)

All units are dual aspect benefitting from either south, east, or west primary aspect.

Houses

The Kildare County Council Development Plan has defined minimum area standards for residential units. These standards state that, a two-bedroom house is expected to have an area of 85 square meters, three-bedroom dwellings, is 100 square meters, and for four-bedroom homes, the standard is set at 110 square meters.

Storage is provided in accordance with the K.C.C Development Plan Standards. Minimum storage areas of 6 sq.m for two bed units, 8sq.m for three bed units, and 9 sq.m for four bed units. This consists of internal storage within the dwelling and a garden shed measuring 3.0 sq.m.

Internal Room areas and sizes are in accordance with Table 5.1 of Quality Housing for Sustainable Communities 2007. The schedules attached to this document itemise the houses unit by unit and demonstrate compliance with the space, area and aspect standards. Room dimensions and areas are provided on the floor plans included as part of the application.

Houses

Dwelling type	Target gross floor area	Minimum - Main living room	Aggregate living area	Aggregate bedroom area	Storage
	(sq.m)	(sq.m)	(sq.m)	(sq.m)	(sq.m)
Family Dwellings - 3 or more persons					
4 Bed/7P House (2 storey)	110*	15	40	43	6*
3 Bed/5P House (2 storey)	92*	13	34	32	5*
2 Bed/4P House (2 storey)	80*	13	30	25	4*

Information taken from: Quality Housing for Sustainable Communities 2007 (Table 5.1)

* Note K.C.C. development plan engages a higher standard minimum.

Apartments

Minimum aggregate floor areas for living/dining/kitchen rooms, and minimum widths for the main living/dining rooms		
Apartment type	Width of living/ dining room	Aggregate floor area of living / dining / kitchen area
One Bedroom	3.3m	23 sq.m
Minimum bedroom floor areas/ widths		
Type	Minimum width	Minimum floor area
Double bedroom	2.8m	11.4 sq.m
Minimum storage space requirements		
One bedroom	3 sq.m	
Minimum floor areas for private amenity space		
One bedroom	5 sq.m	

Information taken from: Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities 2022.

Each house has a garden area accessed from the main living space. The minimum areas provided are 55sq.m for two bed units, 60sq.m for three bed units, 75sq.m for four bed units in accordance with the KCC development plan. This is well in excess of the requirements of Sustainable Residential Development and Compact Settlements Guidelines for Planning Applications which requires 30 sq.m for a two bed, 40 sq.m for a three bed and 50 sq.m for a four bed.

Apartments

Apartment areas, room areas and sizes are in accordance with Appendix 1 of Sustainable Urban Housing: Design Standards for New Apartments Guidelines for Planning Authorities 2022. The schedules attached to this document itemise the apartments unit by unit and demonstrate compliance with the space, area and aspect standards. Room dimensions and areas are provided on the floor plans included as part of the application.

Storage is provided within each of the units as indicated on the drawings. Minimum storage areas of 3 sq.m for one bed units. These areas consist of a mixture of dedicated utility/storerooms, open shelving, additional wardrobe units and bathroom storage. In certain areas individual storerooms may be slightly larger than 3. 5sq.m due to the efficiencies of the plan layouts.

Each apartment has a balcony or terrace area accessed from the main living space. The minimum areas provided are 5sq.m for all one bed units. All balconies and terraces shall have a minimum clear depth of 1.5 sq.m. All ground floor units shall have a floor to ceiling height of 2.7m.

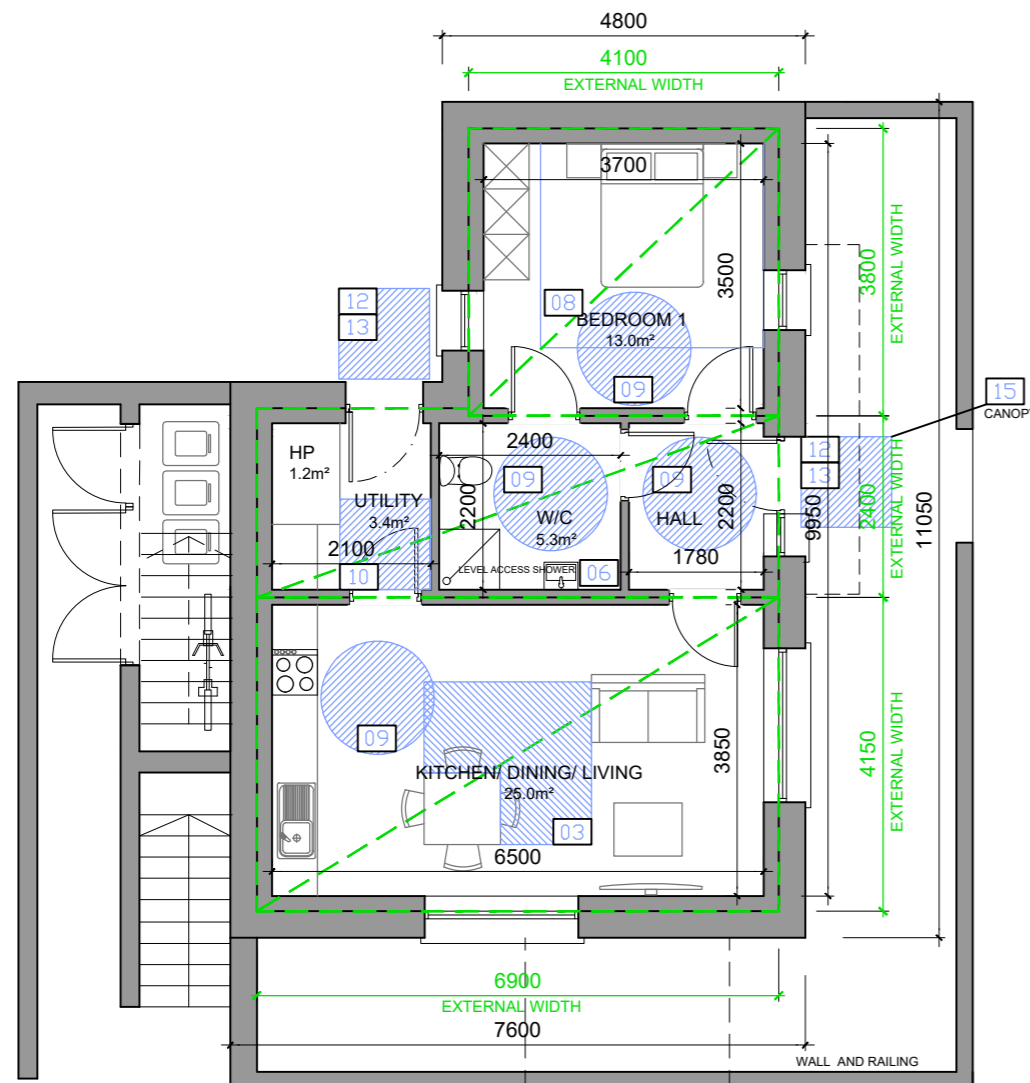
8.0 Accessibility

In accordance with the Kildare County Council Development Plan 20% of the units have been designed to be UD compliant with the requirements of the 'Universal Design Guidelines for Homes in Ireland' developed by the Centre for Excellence in Universal Design (National Disability Authority). Accessible parking spaces are located nearby the units universally designed to provide easy access.

The Universal Design units consist of:

- Duplex Type A (6 no. Ground Floor Units)
- Duplex Type B (4 no. Ground Floor Units)
- Type C House (9 no. units)

The criteria addressing the design of the internal unit layout are summarised as shown below.

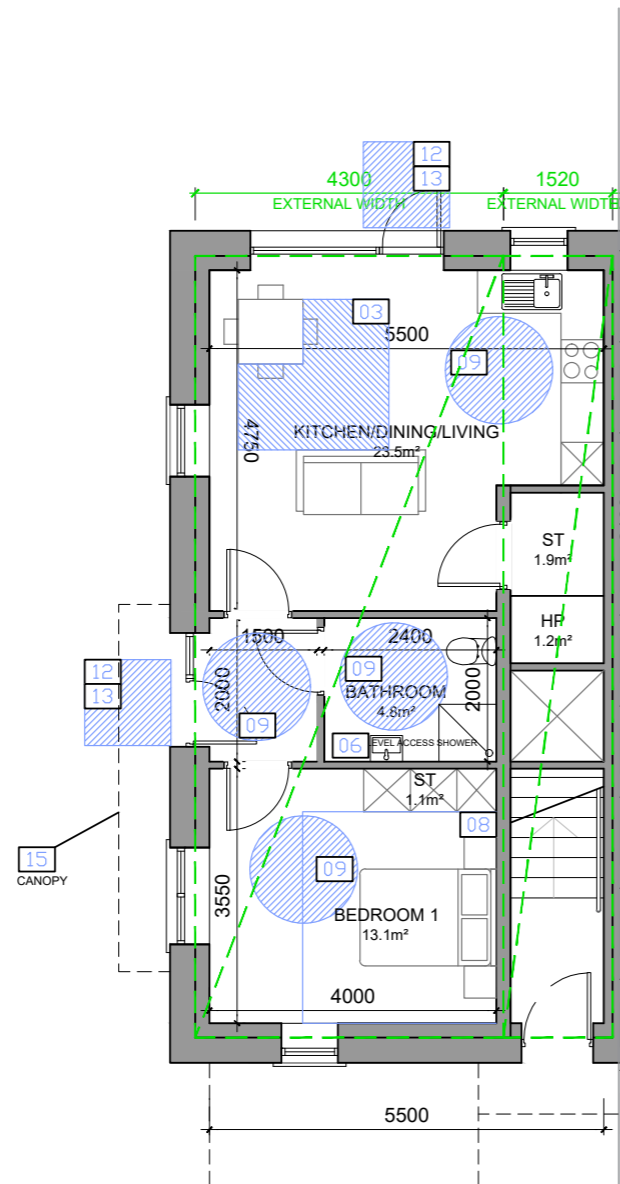


Duplex Type A
Ground Floor Plan
(6 no. units)
Scale 1:100

UD provisions hatched in blue

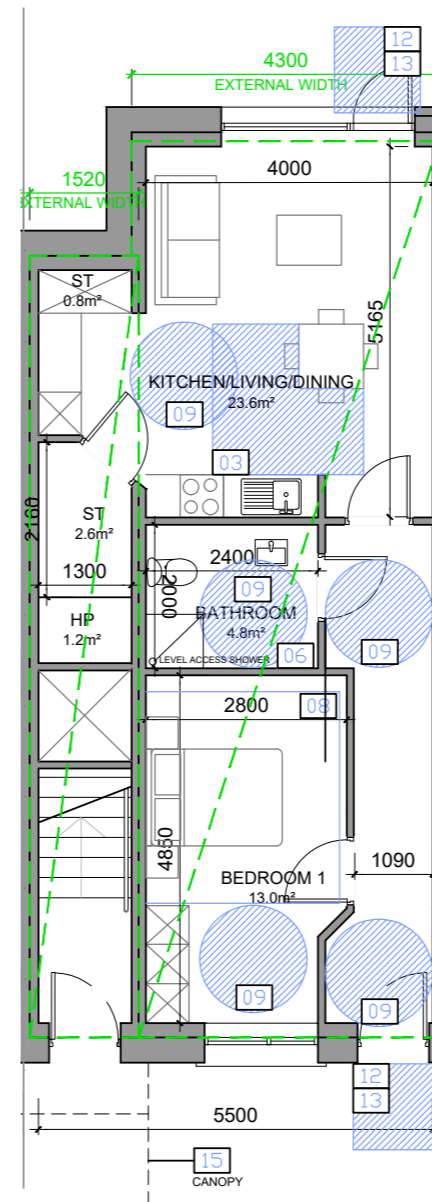
Kitchen/ Dining/ Living Room

1. Large and flexible room with ample unobstructed space to access all areas for everyone with ease of movement through the kitchen
2. Minimum 800mm wide clear route between furniture and in front of windows and routes between doors
3. 1200mm clear space on three consecutive sides of a table
4. Kitchen is not a thoroughfare. Cooker / hob and sink are in the same run of worktop.
5. The kitchen space located next to the dining area to ease access for carrying food and crockery.
6. Large and accessible bathroom (minimum 2100 mm x 2500 mm) door opens outwards, with level access shower.
7. Bathroom adjacent to the main bedroom with flexibility to provide direct access from the bedroom.
8. clear access space of 800mm on both sides and at the end of the double bed.
9. Provide a clear space for a turning circle of 1500mm
10. Utility room with space for washer and dryer adjacent to kitchen.
11. Doors open into rooms (such as living rooms, bedrooms and kitchens) with hinge-side of the door is adjacent to a return wall and approx. 300mm clear space on the leading edge of doors
12. Entrance door with a clear width of circa 1000mm; with 1200 mm x 1200 mm clear landing. Position is readily identified from the road.
13. Level access to the front and rear doors.
14. House unit designed to allow ground floor bedroom area, stair lift and/or soft spot for future lift.
15. Canopy at front entrance.



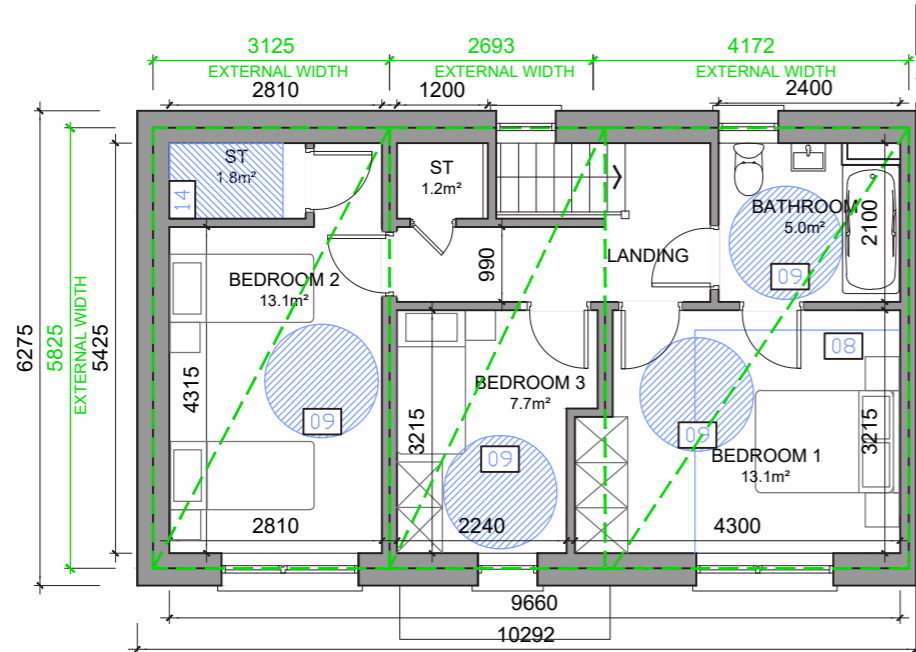
Duplex Type B
Ground Floor Plan
(2 no. units)
Scale 1:100

*UD provisions hatched in blue
(as per itemised list on Pg15)*

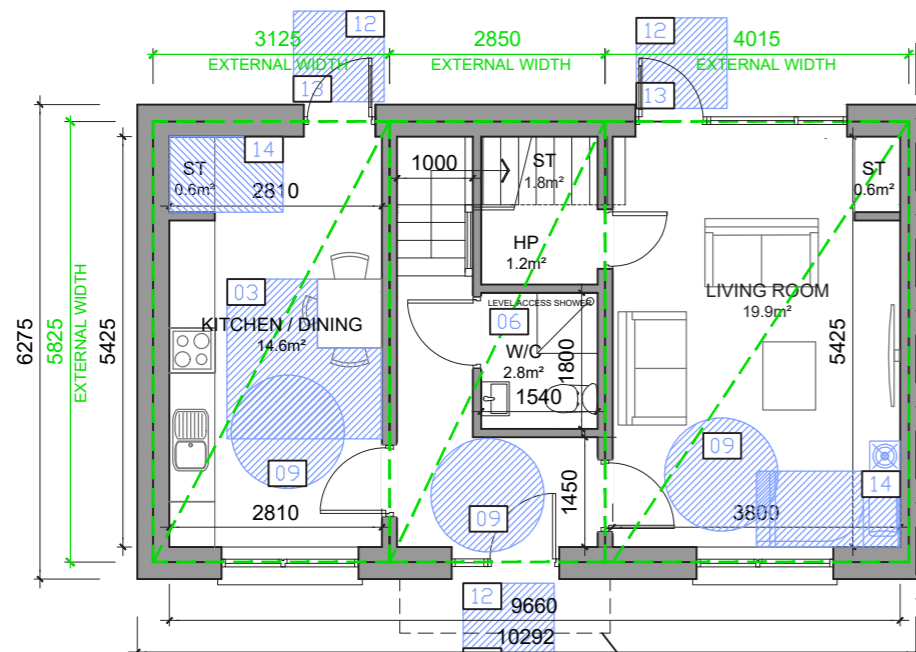
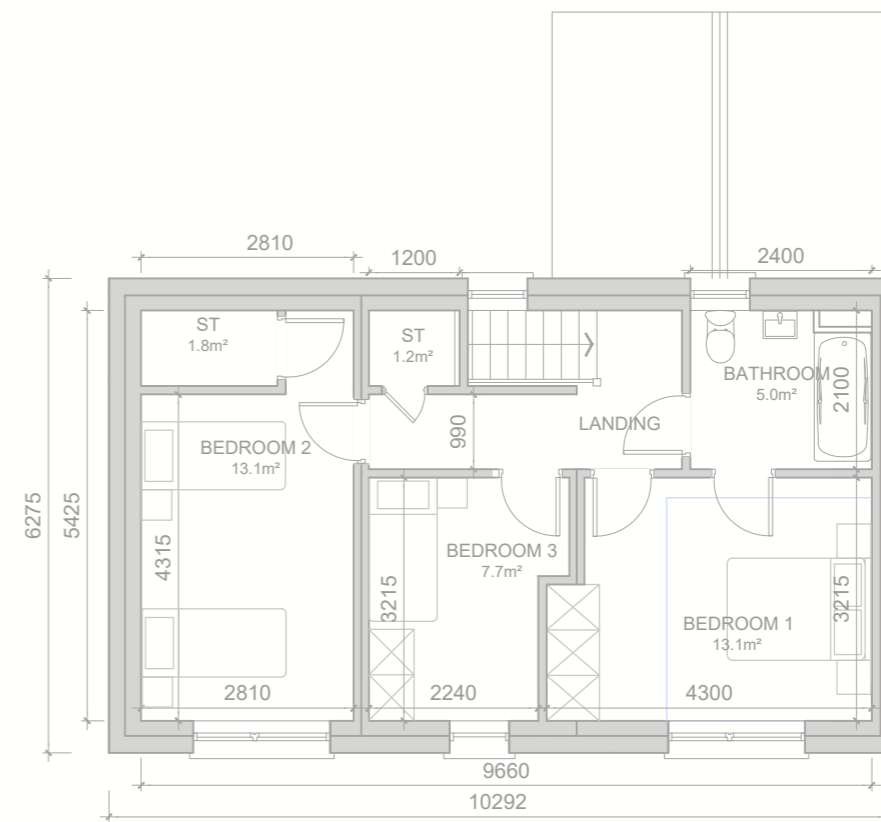


Duplex Type B
Ground Floor Plan
(2 no. units)
Scale 1:100

*UD provisions hatched in blue
(as per itemised list on Pg15)*

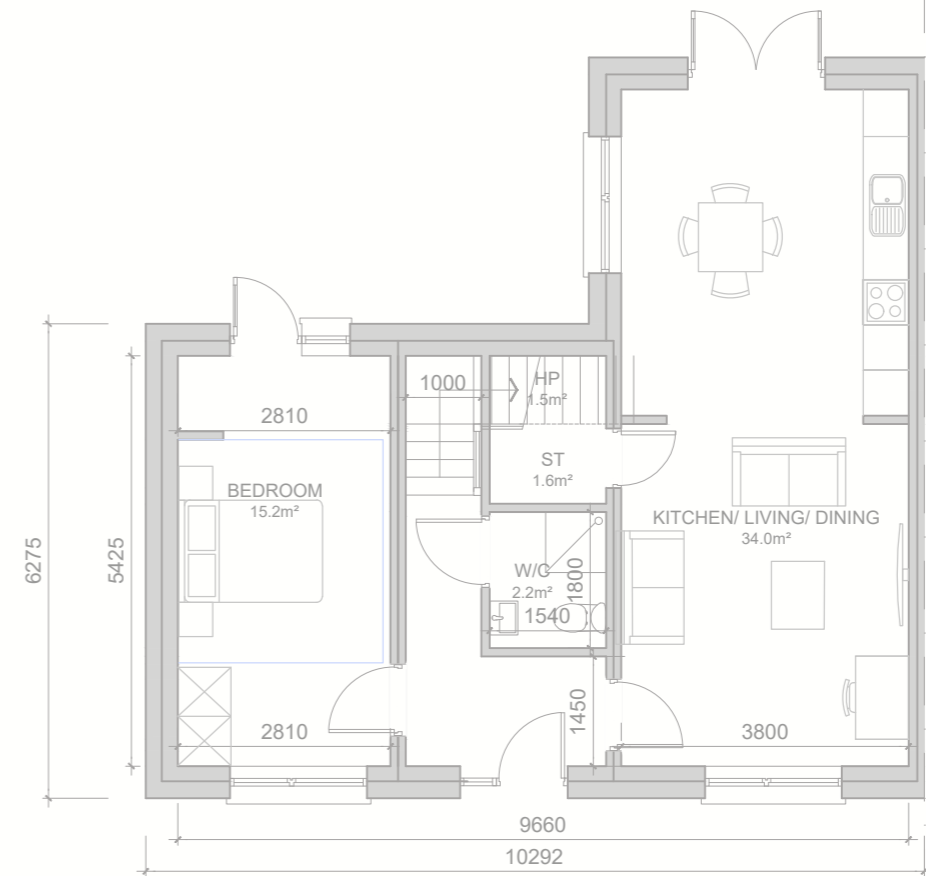


First Floor Plan



House Type C
Ground Floor Plan
(9 no. units)
Scale 1:100

*UD provisions hatched in blue
(as per itemised list on Pg15)*



House Type C - Possible future adaptation
Scale 1:100



Image 24: View from the entrance of the Site on Oldtown Road



Image 25: View from the entrance of the Site on Oldtown Road

9.0 Building Lifecycle Analysis

A building lifecycle report is included with the application in response to Section 6.13 of 'Sustainable Housing: Design Standards for New Apartments'. Design measures such as eliminating the need for common areas and lifts, the use of robust materials and efficient planning have been adopted to minimize lifecycle costs. Please refer to that report for more details

10.0 Energy Efficiency Strategy

All units are designed with an efficient plan format balancing the ratio between floor area and external wall which allows for an efficient and sustainable layout while also creating an efficient thermal envelope. The units will be constructed to building regulation standards delivering a high level of energy efficiency in use in line with Part L's near zero energy target. A Climate Action, Sustainability and Part C compliance report has been prepared by Semple McKillop and is included with the application. Measures have been fully integrated into the design.

11.0 Community Safety

Passive surveillance measures have been fully integrated into the design, ensuring that public spaces are naturally overseen by adjacent dwellings. A continuous active street frontage is provided with dual aspect corners and building gables. Permeability is provided to the North-East, and North-West, promoting connectivity for pedestrians and avoiding a cul-de-sac arrangement. All units are own door access and have their own dedicated private amenity spaces. All parking spaces are located in areas that are well overlooked and proximate to the front doors of each of the units. Well-illuminated streets and landscaped areas, coupled with a variety of open spaces, contribute to a vibrant and safe community atmosphere. Bicycle storage and bin storage is provided on curtilage for each unit.

12.0 Summary



Image 26: View along central street looking South-West

In developing the design proposal for this site at Oldtown, MCORM have endeavoured to apply best practice architecture and urban principles. We have had due regard to the Kildare County Council Development Plan , relevant national policy and guidance together with the feedback provided from the local authority during the preplanning phase.

Our design has considered the potential impacts and benefits of the proposal in accordance with the 12 criteria of the Urban Design Manual -at the scale of the neighbourhood, at the scale of the site, and at the scale of the house. Our design seeks to respect the existing characteristics of site whilst also utilising the unique conditions presented.


A scheme of 60 social housing units is proposed together with associated site works, landscaping and public open spaces. The two storey proposal is in keeping with the predominant typologies of the surrounding area while the adopted architectural treatment affords a simple but modern aesthetic for the new scheme. Terraces of housing are punctuated at the corners with own door apartment units creating a variety of streetscape and unit typology. The three public open spaces provide high quality residential amenity within the scheme and the specific landscaping treatments and proposals in each location afford variety both in terms use and sense of place.

We submit that the proposed scheme will constitute sustainable residential development which delivers high-quality design and residential amenity on the subject land.



Image 27: View along central street of two-bed terrace

Appendix A: Housing Quality Assessment

OLDTOWN MILL, CELBRIDGE, CO. KILDARE	
SHB5-OCK-SH-MCO-AR-P3 - HOUSING QUALITY ASSESSMENT SCHEDULE	PLANNING APPLICATION

Bundles 4&5 - Oldtown Mill, Celbridge																
PLOT NUMBER	HOUSE/APARTMENT	UNIT TYPE	DESCRIPTION	UNIT AREA (SQ.M)	BEDROOMS (No.)	BEDSPACES (No.)	AGGREGATE LIVING/DINING/KITCHEN AREA (SQ.M)	Living Room (sqm)	Bed 1 (sqm)	Bed 2 (sqm)	Bed 3 (sqm)	Bed 4 (sqm)	AGGREGATE BED AREA (sqm)	STORAGE (sqm)	MINIMUM OUTDOOR PRIVATE AMENITY SPACE (sqm)	ASPECT
1	APARTMENT	Duplex Type B D-1B2P_1B2P-2	Ground Floor Apt End Terrace	50.4	1	2	23.5	23.5	13.1				13.1	3.1	5	Dual Aspect
2	APARTMENT	Duplex Type B D-1B2P_1B2P-3	Ground Floor Apt Mid Terrace	57.2	1	2	23.6	23.6	13				13	3.3	5	Dual Aspect
3	APARTMENT	Duplex Type B D-1B2P_1B2P-3	Ground Floor Apt Mid Terrace	57.2	1	2	23.6	23.6	13				13	3.3	5	Dual Aspect
4	APARTMENT	Duplex Type B D-1B2P_1B2P-2	Ground Floor Apt End Terrace	50.4	1	2	23.5	23.5	13.1				13.1	3.1	5	Dual Aspect
5	APARTMENT	Duplex Type B D-1B2P_1B2P-2	First Floor Apt End Terrace	61.5	1	2	23	23	11.7				11.7	3.3	5	Dual Aspect
6	APARTMENT	Duplex Type B D-1B2P_1B2P-3	First Floor Apt Mid Terrace	61.5	1	2	23	23	11.7				11.7	3.3	5	Dual Aspect
7	APARTMENT	Duplex Type B D-1B2P_1B2P-3	First Floor Apt Mid Terrace	61.5	1	2	23	23	11.7				11.7	3.3	5	Dual Aspect
8	APARTMENT	Duplex Type B D-1B2P_1B2P-2	First Floor Apt End Terrace	61.5	1	2	23	23	11.7				11.7	3.3	5	Dual Aspect
9	HOUSE	House Type C H-3B5P-3	Detached House	104.8	3	5	34.5	19.9	13.1	13.5	7.7		34.3	9 (6.0+3.0 external)	60	Dual Aspect
10	APARTMENT	Duplex Type A D-1B2P_1B2P-1	Ground Floor Apartment	54.3	1	2	25	25	13				13	3.4	5	Dual Aspect
11	APARTMENT	Duplex Type A D-1B2P_1B2P-1	First Floor Apartment	54.3	1	2	23.6	23.6	13				13	3	5	Dual Aspect
12	HOUSE	House Type A H-2B4P-1	Semi Detached House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
13	HOUSE	House Type A H-2B4P-1	Mid Terrace House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
14	HOUSE	House Type A H-2B4P-1	Mid Terrace House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
15	HOUSE	House Type A H-2B4P-1	Mid Terrace House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
16	HOUSE	House Type A H-2B4P-1	Mid Terrace House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
17	HOUSE	House Type A H-2B4P-1	Semi Detached House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
18	HOUSE	House Type A H-2B4P-1	Semi Detached House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
19	HOUSE	House Type A H-2B4P-1	Mid Terrace House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
20	HOUSE	House Type A H-2B4P-1	Mid Terrace House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
21	HOUSE	House Type A H-2B4P-1	Mid Terrace House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
22	HOUSE	House Type A H-2B4P-1	Mid Terrace House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
23	HOUSE	House Type A H-2B4P-1	Semi Detached House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
24	APARTMENT	Duplex Type A D-1B2P_1B2P-1	Ground Floor Apartment	54.3	1	2	25	25	13				13	3.4	5	Dual Aspect
25	APARTMENT	Duplex Type A D-1B2P_1B2P-1	First Floor Apartment	54.3	1	2	23.6	23.6	13				13	3	5	Dual Aspect
26	HOUSE	House Type C H-3B5P-3	Detached House	104.8	3	5	34.5	19.9	13.1	13.5	7.7		34.3	9 (6.0+3.0 external)	60	Dual Aspect
27	HOUSE	House Type B H-3B5P-1	Semi Detached House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
28	HOUSE	House Type B H-3B5P-1	Semi Detached House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
29	HOUSE	House Type B H-3B5P-1	Semi Detached House	101.6	3	5	34	14.8	13.4	12.3	7.1		32.8	9.1 (6.1+3.0 external)	60	Dual Aspect
30	APARTMENT	Duplex Type A D-1B2P_1B2P-1	Ground Floor Apartment	54.3	1	2	25	25	13				13	3.4	5	Dual Aspect
31	APARTMENT	Duplex Type A D-1B2P_1B2P-1	First Floor Apartment	54.3	1	2	23.6	23.6	13				13	3	5	Dual Aspect
32	HOUSE	House Type C H-3B5P-3	Semi Detached House	104.8	3	5	34.5	19.9	13.1	13.5	7.7		34.3	9 (6.0+3.0 external)	60	Dual Aspect
33	HOUSE	House Type C H-3B5P-3	Semi Detached House	104.8	3	5	34.5	19.9	13.1	13.5	7.7		34.3	9 (6.0+3.0 external)	60	Dual Aspect
34	APARTMENT	Duplex Type A D-1B2P_1B2P-1	Ground Floor Apartment	54.3	1	2	25	25	13				13	3.4	5	Dual Aspect
35	APARTMENT	Duplex Type A D-1B2P_1B2P-1	First Floor Apartment	54.3	1	2	23.6	23.6	13				13	3	5	Dual Aspect
36	HOUSE	House Type B H-3B5P-1	Semi Detached House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
37	HOUSE	House Type B H-3B5P-1	Mid Terrace House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
38	HOUSE	House Type B H-3B5P-1	Semi Detached House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
39	HOUSE	House Type C H-3B5P-3	Semi Detached House	104.8	3	5	34.5	19.9	13.1	13.5	7.7		34.3	9 (6.0+3.0 external)	60	Dual Aspect
40	HOUSE	House Type C H-3B5P-3	Mid Terrace House	104.8	3	5	34.5	19.9	13.1	13.5	7.7		34.3	9 (6.0+3.0 external)	60	Dual Aspect
41	HOUSE	House Type C H-3B5P-3	Semi Detached House	104.8	3	5	34.5	19.9	13.1	13.5	7.7		34.3	9 (6.0+3.0 external)	60	Dual Aspect
42	HOUSE	House Type B H-3B5P-1	Semi Detached House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
43	HOUSE	House Type B H-3B5P-1	Mid Terrace House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
44	HOUSE	House Type B H-3B5P-1	Semi Detached House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
45	APARTMENT	Duplex Type A D-1B2P_1B2P-1	Ground Floor Apartment	54.3	1	2	25	25	13				13	3.4	5	Dual Aspect
46	APARTMENT	Duplex Type A D-1B2P_1B2P-1	First Floor Apartment	54.3	1	2	23.6	23.6	13				13	3	5	Dual Aspect
47	HOUSE	House Type C H-3B5P-3	Semi Detached House	104.8	3	5	34.5	19.9	13.1	13.5	7.7		34.3	9 (6.0+3.0 external)	60	Dual Aspect
48	HOUSE	House Type C H-3B5P-3	Semi Detached House	104.8	3	5	34.5	19.9	13.1	13.5	7.7		34.3	9 (6.0+3.0 external)	60	Dual Aspect
49	APARTMENT	Duplex Type A D-1B2P_1B2P-1	Ground Floor Apartment	54.3	1	2	25	25	13				13	3.4	5	Dual Aspect
50	APARTMENT	Duplex Type A D-1B2P_1B2P-1	First Floor Apartment	54.3	1	2	23.6	23.6	13				13	3	5	Dual Aspect
51	HOUSE	House Type B H-3B5P-1	Semi Detached House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
52	HOUSE	House Type B H-3B5P-1	Mid Terrace House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect

53	HOUSE	House Type B H-3B5P-1	Semi Detached House	101.6	3	5	34	14.8	13.3	12.2	7.1		32.6	9.1 (6.1+3.0 external)	60	Dual Aspect
54	HOUSE	House Type E H-4B7P-1	Semi Detached House	124.9	4	7	40	17.6	13.6	11.5	12.1	8.3	45.5	10.6 (7.6+3.0 external)	75	Dual Aspect
55	HOUSE	House Type E H-4B7P-1	Semi Detached House	124.9	4	7	40	17.6	13.6	11.5	12.1	8.3	45.5	10.6 (7.6+3.0 external)	75	Dual Aspect
56	HOUSE	House Type A H-2B4P-1	Semi Detached House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
57	HOUSE	House Type A H-2B4P-1	Mid Terrace House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
58	HOUSE	House Type A H-2B4P-1	Semi Detached House	87.4	2	4	30	17.8	13	11.5			24.5	7.5 (4.5+3.0 external)	55	Dual Aspect
59	HOUSE	House Type E H-4B7P-1	Semi Detached House	124.9	4	7	40	17.6	13.6	11.5	12.1	8.3	45.5	10.6 (7.6+3.0 external)	75	Dual Aspect
60	HOUSE	House Type E H-4B7P-1	Semi Detached House	124.9	4	7	40	17.6	13.6	11.5	12.1	8.3	45.5	10.6 (7.6+3.0 external)	75	Dual Aspect

60 No.	TOTAL			5085.8		233										
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TYPE	DESCRIPTION	No.
HOUSE	House Type A H-2B4P-1	15
HOUSE	House Type B H-3B5P-1	12
HOUSE	House Type C H-3B5P-3	9
HOUSE	House Type E H-4B7P-1	4
APARTMENT	Duplex Type A D-1B2P 1B2P-1	12
APARTMENT	Duplex Type B D-1B2P 1B2P-2	4
APARTMENT	Duplex Type B D-1B2P 1B2P-3	4
	Total	60

UNIT MIX SUMMARY	
1 Bed/2 Person	20
2 Bed/4 Person	15
3 Bed/5 Person	21
4 Bed/7 Person	4
Total Number of Units	60
Houses	40
Duplexes	20

Appendix B: Design Checklist

The following is a tabulated response to the items listed in Appendix D - Design Checklist (Key Indicators of Quality Urban Design and Placemaking) of the Sustainable Residential Development and Compact Settlements Guidelines for Planning Applications. This design report details the design approach for the scheme under the headings as listed on the context page. This Appendix should be read in conjunction with the details set out in the main body of the report

No.	Topic	Response
1	Sustainable and Efficient Movement	
(i)	permeable and legible network of streets and spaces within the site	A clear urban design strategy is proposed consisting of a central spine street with residential units to both sides – 3 distinct open spaces are linked along the central route– one to the front of the site, one in the middle and one to the rear. Footpaths are provided to both sides on the street with cycling facilitated on street.
(ii)	connections with and between established communities, services and other uses	The site is located in an existing residential neighbourhood on the edge of the town. The neighbourhood connects to the town via Oldtown Mill Road which links to Shackleton Road (one of the main distributor roads in Celbridge) In terms of the immediate site context - Hard boundaries to third party lands exist along the south east and south west of the site. Permeable connections are proposed on the other two sides of the site - from Oldtown Mill Road to the north east and in two locations to the adjoining development to the north west
(iii)	streets designed in accordance with DMURS	The street is designed with a 6m carriageway with a mixture of perpendicular and parallel on street parking punctuated with street trees and incidental planting. Table top traffic calming measures are also provided at intervals along the street to prioritise pedestrian crossing. Please refer to Malone O Regan documentation for details of compliance with DMURS
(iv)	quantum of parking been minimised	Parking has been provided at a rate of 1.25 spaces per unit. Parking is provided on street in permeable paved bays that are punctuated with street trees and planting.
2	Mix of Land Uses (Vibrant Centres and Communities)	
(i)	mix and intensity of land uses appropriate to the site	The site is located in an existing residential neighbourhood at the edge of Celbridge town. A social housing scheme consisting of 60 residential units is proposed in accordance with Kildare County Council requirements.

(ii)	diverse and varied range of housing types	The scheme has been developed in accordance with the Kildare County Council brief which is based on the social housing need demand for the area. A variety of units types are proposed including 1 bed, 2 bed, 3 bed and 4 bed homes in a mixture of own door apartments, semi detached and terraced houses
(iii)	support the regeneration and revitalisation of an existing centre or neighbourhood	The existing site is greenfield / brownfield and has been idle for a number of years . It has a large mound of spoil in the middle of the site – a remnant from previous construction activities in the surrounding area. It has been fenced off with security fencing. The proposed scheme will revitalise the abandoned nature of the site and provide much needed housing in the locality.
(iv)	enhancement of the public realm	The proposed scheme will unlock the potential of the site and provide improved amenity for existing residents in the form of quality public open spaces.
3	Green and Blue Infrastructure (Open Space, Landscape and Heritage)	
(i)	positively responded to natural features & landscape character	The existing hedgerow and mature trees to the southwest of the site are to be retained. The proposed scheme steps with the natural contours of the site. A new pond with wetland planting is proposed to the south of the site that will provide a high quality natural amenity and enhanced biodiversity opportunities within the development
(ii)	a complementary and interconnected range of open spaces, corridors and planted/ landscaped areas	Three public open spaces are provided linked via the central street. Each space has its own distinct character and amenity. The area to the front of the site creates a welcoming entrance space, the area in the middle of the site takes on the form of a community courtyard and the area to the south west has a more natural woodland setting working with the natural contours in the area.

(iii)	public open spaces universally accessible and designed to cater for a range of active and passive recreational uses	Each open space is designed with accessible footpaths and a variety of amenity including seating areas, natural play areas and quality soft landscaping . The contours in the south west part of the site result in areas of steeper planting which give that area a more natural appearance.
(iv)	integrated nature-based solutions for the management of urban drainage	A surface water pond is proposed in the southwest of the site as part of an integrated Sustainable Urban Drainage System including rain gardens, permeable paving, tree pits and swales
4	Responsive Built Form	
(i)	coherent and legible urban structure in terms of block layouts and building heights	A distinct streetscape is proposed with two storey housing cells accentuated on the corners with own door two storey apartment blocks that act as place makers and give a variation of scale with the scheme.
(ii)	buildings address streets and spaces	All public spaces are well overlooked and high levels of passive surveillance is provided through out the site. A compact street design ensures continuity of frontage and avoids any long expanses without street level activity.
(iii)	layout, scale and design features of new development respond to prevailing development patterns (where relevant)	The development is in keeping with the predominant two storey scale of the surrounding development while the layout and architectural treatment will allow the scheme to create its own character areas within the wider residential context.
(iv)	coherent architectural and urban design	A two storey scheme is proposed with accentuated corners of modest increase in scale to create variety. This together with the consistent palette of materials and finishes used across the scheme will create a coherent character within the development and in the context of the surrounding area.

Appendix C: Operational Waste Management Plan

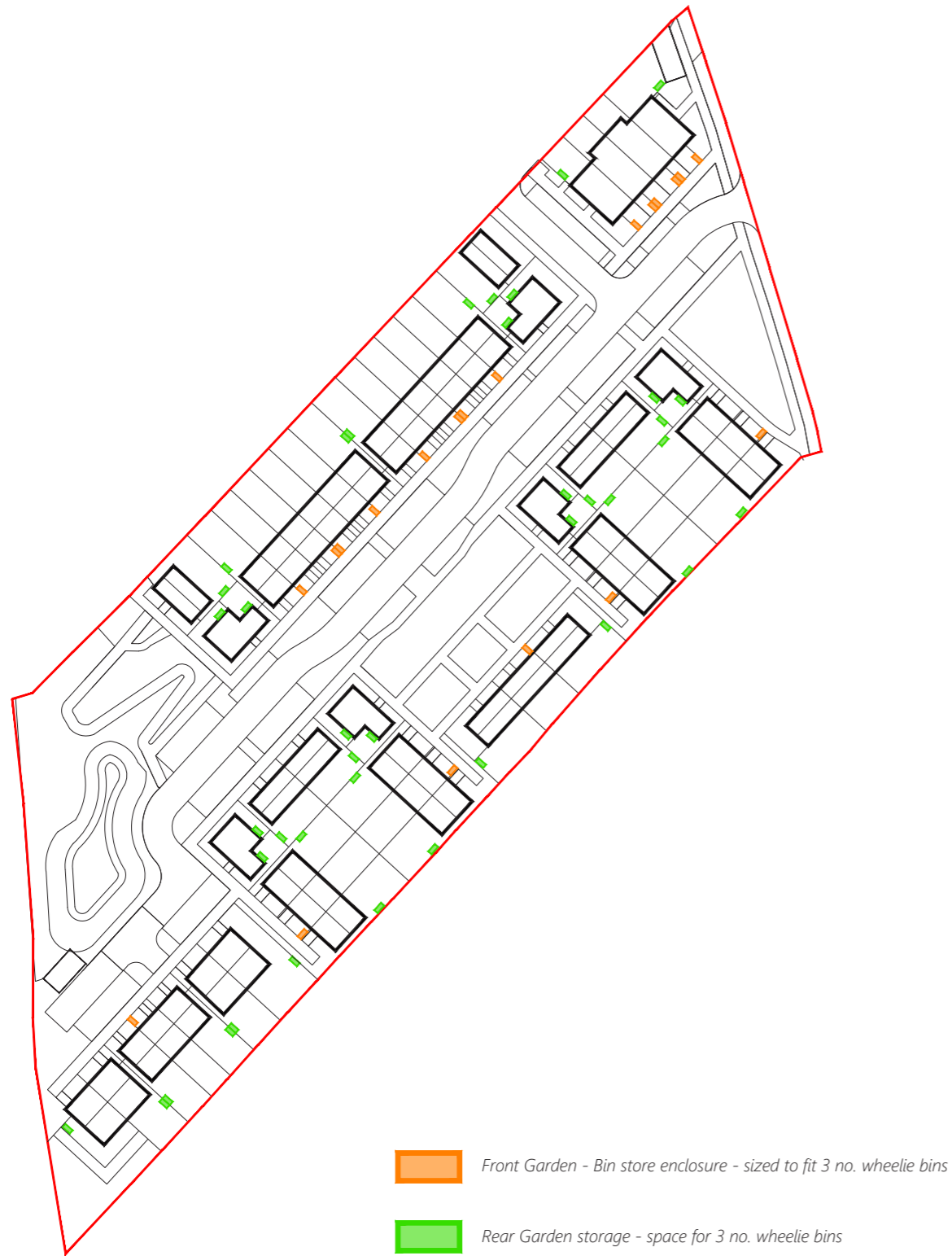
All 60 No. units have own door access. No common areas or shared bin storage is proposed.

Space for external bin storage has been provided on curtilage for each individual unit in either the rear garden / terrace of the unit or in a dedicated enclosure to the front of the unit and as indicated on the key plan opposite.

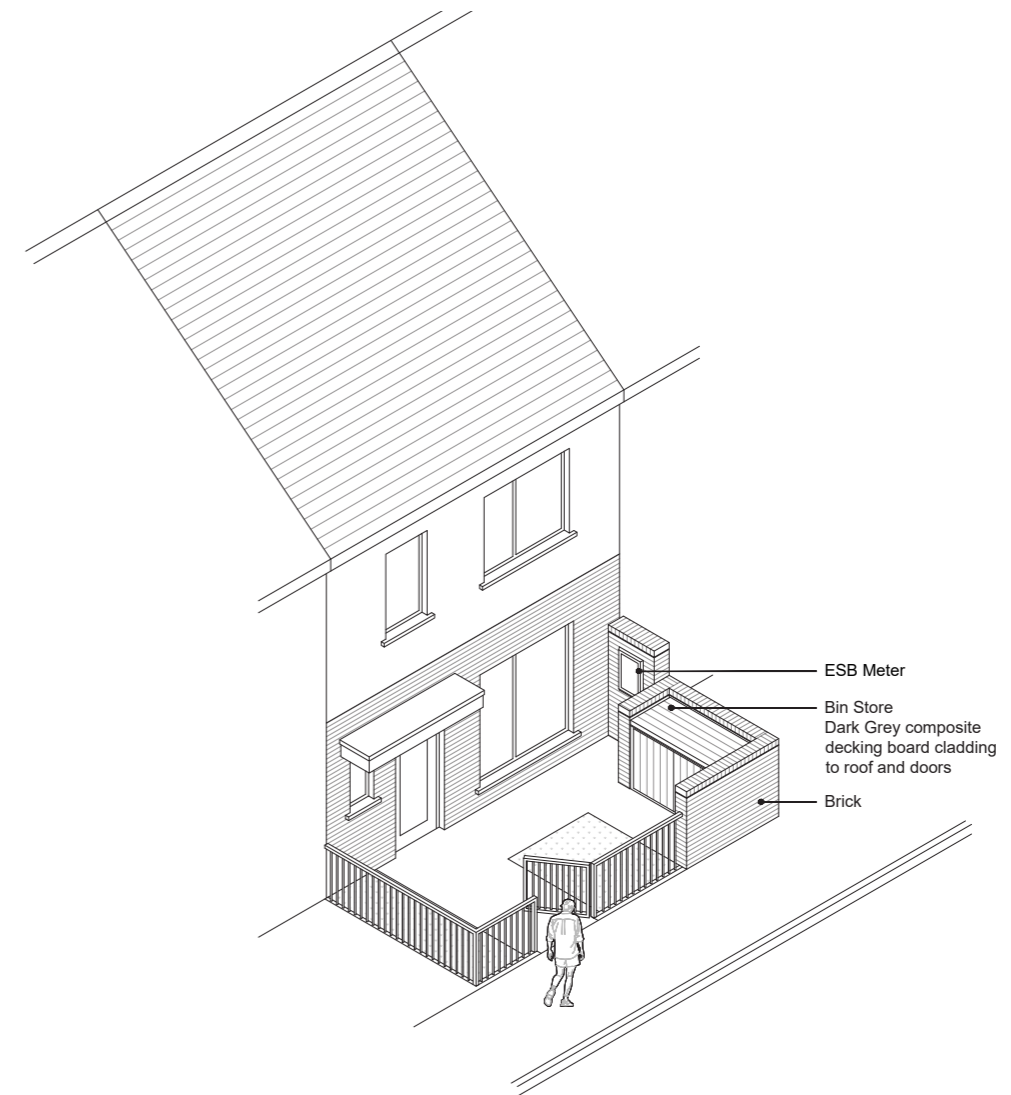
Provision has been made for a typical three bin storage arrangement. (green, black, brown)

Each occupier shall be responsible for their own waste collection.

Bin truck access and turning facilities have been provided on site and as detailed on the Malone O'Regan drawings and documents.



Bin Storage Key Plan



Axo of front garden bin store enclosure