

Upstream Templemills
c/o Malcom Banks
Cellbridge
Co. Kildare
W23 KP8W

Date: 05 September 2023

Re: Proposed construction of 39 residential units, widening of Pausdeen Bridge and all associated site works.
Newtown/Ardclough Road, Newtown, Celbridge, Co. Kildare.

Dear Sir / Madam,

An Bord Pleanála has received your recent submission in relation to the above mentioned proposed development and will take it into consideration in its determination of the matter.

Please be advised that there is no fee required to make this submission. Accordingly, a refund for the €50 that you have paid will be issued to the debit or credit card used to make the payment.

Please note that the proposed development shall not be carried out unless the Board has approved it with or without modifications.

If you have any queries in relation to the matter, please contact the undersigned officer of the Board at laps@pleanala.ie

Please quote the above mentioned An Bord Pleanála reference number in any correspondence or telephone contact with the Board.

Yours faithfully,

pp. Scaulfield

Eimear Reilly
Executive Officer
Direct Line: 01-8737184

AA02

Tel
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(01) 858 8100
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bord@pleanala.ie

64 Sráid Maoilbhríde
Baile Átha Cliath 1
D01 V902

64 Marlborough Street
Dublin 1
D01 V902

Malcolm Banks

Upstream | Templemills | Celbridge | Co. Kildare | Ireland | W23KP8W

An Bord Pleanála,
64 Marlborough Street,
Dublin 1,
D01 V902



Re: Proposed construction of 39 residential units, widening of Pausdeen Bridge and all associated site works at Newtown/Ardclough Road, Newtown, Celbridge, Co. Kildare - Section 177AE of the Planning and Development Act 2000

An Bord Pleanála Ref 317767

26th August 2023

A Chara,

We would like to make the following operations in relation to the above-mentioned development.

- 1) The development assumes changes to our boundary wall (see drawing number 210303-03-124 Rev C), no consultation has been made with us in advance of this application being lodged. We must be consulted, and we must agree to any alterations to our boundary wall prior to any works being undertaken on our property.
- 2) Speeding on this road is a significant safety hazard. We recommend that the scheme include several "sleeping policemen" (not like the ineffective ones recently installed on this road) be included within the scheme. Stretching within 200m on either side of the proposed entrance to the new estate.
- 3) We believe that the proposed zebra crossing as part of the scheme will be unsafe. We strongly recommend this be changed to a traffic light-controlled pedestrian crossing. This is because it is our experience from the three installed in Celbridge village that 20% of all traffic does not stop for pedestrians crossing.

To be clear we are supportive of this development when these observations are implemented.

Malcolm Banks
0 87 2417987
malcolmabanks@gmail.com

Brid Griffin
087 6175190
bridmgriffin@gmail.com

An Bord Pleanála,
64 Marlborough Street,
Dublin 1,
D01 V902



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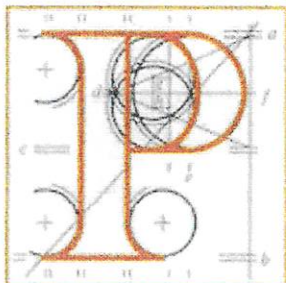
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Malcolm Banks
0 87 2417987
malcolmbanks@gmail.com

Bríd Griffin
087 6175190
bridmgriffin@gmail.com

AN BORD PLEANÁLA	
LDG-	066266-23
ABP-	317767-23
01 SEP 2023	
Fee: €	Type:
Time:	By: <i>Reapost</i>

From: An Bord Pleanála <no-reply@pleanala.ie>
Sent: Saturday 26 August 2023 16:40
To: Malcolm Banks
Subject: Your Observation Reference: LRD-OBS-006137



An
Bord
Pleanála

Large-scale Residential Development Observation Confirmation

Your reference	LRD-OBS-006137
An Bord Pleanála case number or brief development description as provided	317767
Name	Malcolm Banks
Fee	€50.00
What happens next?	Our staff will process your observation. This will take about five to seven working days. We will send a letter in the post to tell you if your observation is valid — or not.
Further information	You can get further information on Large-scale Residential Developments on the An Bord Pleanála website .