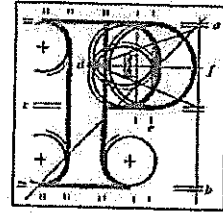


Our Case Number: ABP-317767-23



An  
Bord  
Pleanála

Peter & Ashling Connolly  
Newtown House  
Celbridge  
Co. Kildare

Date: 27 September 2023

Re: Proposed construction of 39 residential units, widening of Pausdeen Bridge and all associated site works,  
Newtown/Ardclough Road, Newtown, Celbridge, Co. Kildare.

Dear Sir / Madam,

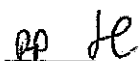
An Bord Pleanála has received your recent submission in relation to the above mentioned proposed development and will take it into consideration in its determination of the matter.

Please note that the proposed development shall not be carried out unless the Board has approved it with or without modifications.

If you have any queries in relation to the matter please contact the undersigned officer of the Board at [laps@pleanala.ie](mailto:laps@pleanala.ie)

Please quote the above mentioned An Bord Pleanála reference number in any correspondence or telephone contact with the Board.

Yours faithfully,

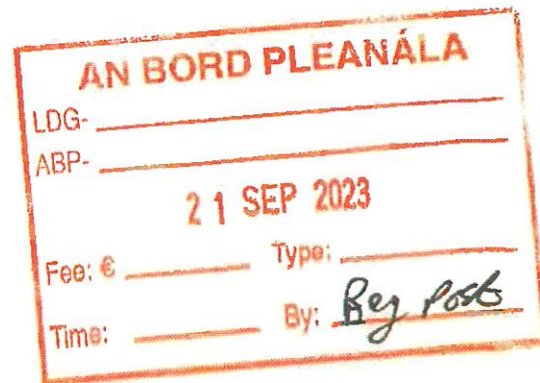
  
Eimear Reilly  
Executive Officer  
Direct Line: 01-8737184

AA02

Tel (01) 858 8100  
Glaó Áitiúil LoCall 1800 275 175  
Facs Fax (01) 872 2684  
Láithreán Gréasáin Website [www.pleanala.ie](http://www.pleanala.ie)  
Ríomhphost Email [bord@pleanala.ie](mailto:bord@pleanala.ie)

64 Sráid Maolbhríde 64 Marlborough Street  
Baile Átha Cliath 1 Dublin 1  
D01 V902 D01 V902

Peter & Ashling Connolly  
Newtown House,  
Celbridge,  
Co. Kildare.  
087 6663651



17<sup>th</sup> September 2023  
An Board Pleanala,  
64 Marlborough Street,  
Dublin 1.

To Whom It May Concern/Planning,

Ref:- Proposed Construction of 39 Residential Units at Newtown/Ardclough Road, Newtown, Celbridge, Co. Kildare.

We are writing to you in relation to the above proposed construction of 39 Residential Units at Newtown/Ardclough, Celbridge.

We take issue with the following:-

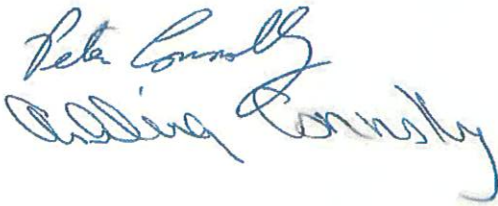
1. The boundary along the east side of the proposed development shows a 2 metre high concrete block wall, dividing the proposed development from the five existing houses along the Ardclough/Newtown Road. Our lands boarder the new development to the South. Here it shows only a 2 metre high post and timber fence and border. We run a livestock farm consisting of cattle and horses which boarder the proposed site to the South. We would need a more secure boundary i.e a 2 metre high block concrete wall to be continued along the South side of the proposed development in order to protect both our cattle and horses and residents of the new proposed development.
2. We also take issue with the positioning of the apartment block 23,24 and 25, they have been angled in such a way as to have a clear line of vision from the back of their apartment block and balconies to the back of our house, gardens and our working farm area i.e cattle sheds, stables and machinery. Number 23,24 and 25 have a height of over 11metres high we feel

that combining both the height of the apartment block and the angle of which they have been positioned will seriously impact our privacy both in our working farm and home and leisure life. We feel that an apartment block of 11 metres high will offer the residents a viewing point over our and our neighbours property.

We look forward to hearing from you in relation to the above matter.

Yours sincerely,

Peter & Ashling Connolly

Handwritten signatures of Peter and Ashling Connolly in blue ink. The signature for Peter is on top and the signature for Ashling is below it.



**Archer**  
Heritage Planning

Unit 8 Beat Centre,  
Stephenstown,  
Ballybrigan,  
Co. Dublin

Ardclough Rd., Celbridge,  
Co. Kildare

Licence No. 22E0267

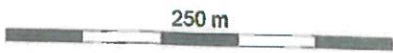
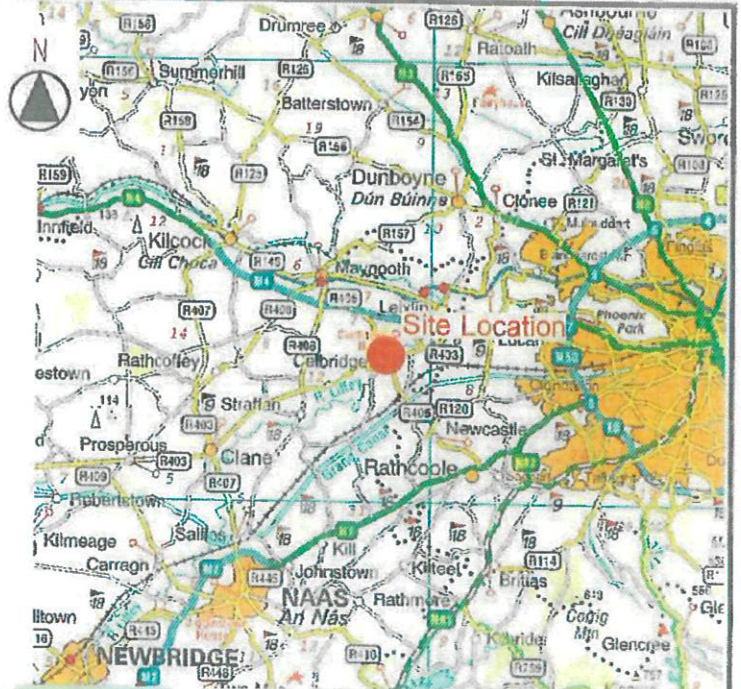
Scale: 1:1500 A4

Date: Apr 2022

Origin: Client

Ref: 2021 411 514

Figure 2: Proposed development layout



**Archer**  
Heritage Planning

Unit 8 Beat Centre  
Stephenstown,  
Balbriggan,  
Co. Dublin

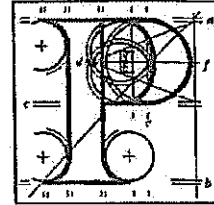
Ardcloagh Rd., Celbridge,  
Co. Kildare

Licence No. 22E0267

Scale: 1:5000 A4  
Date: Apr 2022  
Origin: [www.archaeology.ie](http://www.archaeology.ie)  
Ref: 2021\_40\_AIA\_01

Figure 1: Site location

Our Case Number: ABP-317767-23



An  
Bord  
Pleanála

Peter & Ashling Connolly  
Ardclough Road  
Celbridge  
Co. Kildare

Date: 26 September 2023

Re: Proposed construction of 39 residential units, widening of Pausdeen Bridge and all associated site works.  
Newtown/Ardclough Road, Newtown, Celbridge, Co. Kildare.

Dear Sir / Madam,

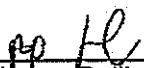
An Bord Pleanála has received your recent submission in relation to the above mentioned proposed development and will take it into consideration in its determination of the matter.

Please note that the proposed development shall not be carried out unless the Board has approved it with or without modifications.

If you have any queries in relation to the matter please contact the undersigned officer of the Board at [laps@pleanala.ie](mailto:laps@pleanala.ie)

Please quote the above mentioned An Bord Pleanála reference number in any correspondence or telephone contact with the Board.

Yours faithfully,

  
\_\_\_\_\_  
Eimhear Reilly  
Executive Officer  
Direct Line: 01-8737184

AA02

Tel	Tel	(01) 858 8100
Gao Áitiúil	LoCall	1800 275 175
Facs	Fax	(01) 872 2684
Láithreán Gréasáin	Website	<a href="http://www.pleanala.ie">www.pleanala.ie</a>
Ríomhphost	Email	<a href="mailto:bord@pleanala.ie">bord@pleanala.ie</a>

64 Sráid Maoilbhríde	64 Marlborough Street
Balle Átha Cliath 1	Dublin 1
D01 V902	D01 V902

17<sup>th</sup> September 2023

An Board Pleanála,  
64 Marlborough Street,  
Dublin 1.



To Whom It May Concern/Planning,

Ref:- Proposed Construction of 39 Residential Units at Newtown/Ardclough Road, Newtown, Celbridge, Co. Kildare.


We are writing to you in relation to the above proposed construction of 39 Residential Units at Newtown/Ardclough, Celbridge.

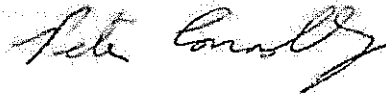
We take issue with the following:-

1. The boundary along the east side of the proposed development shows a 2 metre high concrete block wall, dividing the proposed development from the five existing houses along the Ardclough/Newtown Road. Our lands boarder the new development to the South. Here it shows only a 2 metre high post and timber fence and border. We run a livestock farm consisting of cattle and horses which boarder the proposed site to the South. We would need a more secure boundary i.e a 2 metre high block concrete wall to be continued along the South side of the proposed development in order to protect both our cattle and horses and residents of the new proposed development.
2. We also take issue with the positioning of the apartment block 23,24 and 25, they have been angled in such a way as to have a clear line of vision from the back of their apartment block and balconies to the back of our house, gardens and our working farm area i.e cattle sheds, stables and machinery. Number 23,24 and 25 have a height of over 11metres high we feel that combining both the height of the apartment block and the angle of which they have been positioned will seriously impact our privacy both in our working farm and home and leisure life. We feel that an apartment block of 11 metres high will offer the residents a viewing point over our and our neighbours property.

We look forward to hearing from you in relation to the above matter.

Yours sincerely,

  
Peter & Ashling Connolly





Peter Connolly Building Connolly



Scale: 1:1500 A4  
 Date: Apr 2022  
 Origin: Client  
 Ref: 2021\_40\_AIA\_02

Ardclough Rd., Celbridge,  
 Co. Kildare  
 Licence No. 22E0267

Unit 8 Beat Centre  
 Stephenstown,  
 Balbriggan,  
 Co. Dublin

**Archer**  
 Heritage Planning

Block  
 23, 24, 25

South Side  
 Out Farm  
 House

